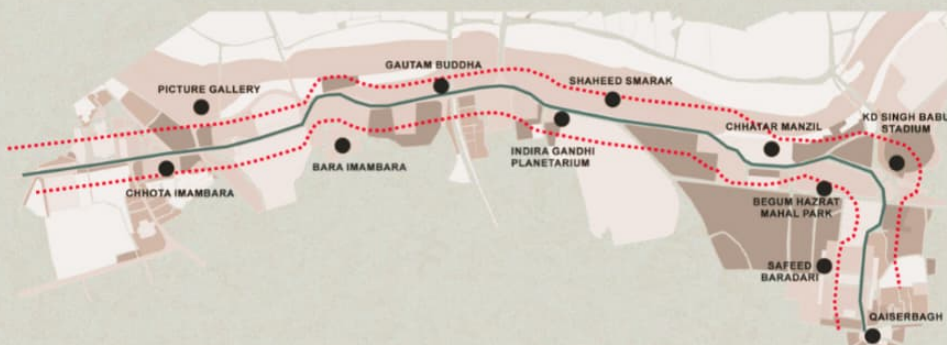




अंदाज़-ए-अवध हेरिटेज कॉरिडोर



इसके द्वारा सभी को सूचित किया जाता है कि हेरिटेज जोन में डायनेमिक अर्बन हेरिटेज स्काईलाइन बनाने के लिए एलडीए द्वारा प्रस्तावित कैसरबाग चौराहे से बड़ा इमामबाड़ा तक हेरिटेज कॉरिडोर के लिए फसाद दिशानिर्देशों का पालन करना अनिवार्य है। ऐसा न करने पर सख्त कार्यवाही की जाएगी।

आवासों के लिए रंग पैलेट

F2f2f2 Vista Paint Winter Mist

##fddca Unbleached silk

#98817b
Cineros

#c9c0bb Pale
Silver

दुकानों के साइनेज

SHOP TITLE
SHOP SUB TITLE

Colour code
for text
#414a4c
Outer Space

Colour code
for frame
#F2f2f2
Vista Paint Winter
Mist

Colour code
for border
#996666 Copper
Rose

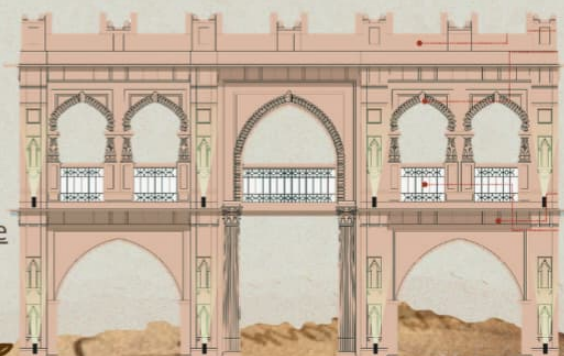
Colour code
for mid area
#c9c0bb Pale
Silver

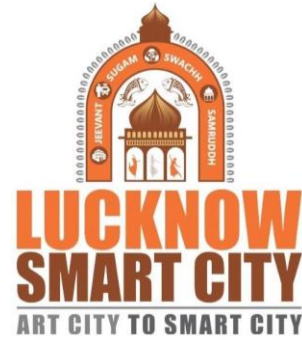
सीमा दीवार दिशानिर्देश



डाउनलोड करें

<https://www.ldaonline.co.in/sec/portal/Home/Home>





Façade Control Guidelines

for

Andaaz-e-Awadh

Heritage Corridor from Qaiserbagh To Chhota Imambara

Experiencing Confluence of Cultural Landscapes



FACULTY OF ARCHITECTURE AND PLANNING,
DR. APJ ABDUL KALAM TECHNICAL UNIVERSITY, LUCKNOW

Façade = Visual Gateway of Built Heritage



Intent of Façade Control Guidelines



Proposal of Façade Control Guidelines for **Creating Dynamic Urban Heritage Skyline**

- Uniform Architecture and Design Solutions
- Aesthetic Appeal in terms of Color & Patterns
- Guidelines for Façade Development, Fenestration & Materials
- Guidelines for Restoration, Renovation & Reconstruction
- Guidelines for Signages, Billboards, and Hoardings etc.





Cultural & Urban Rejuvenation of Identified Core Heritage Zone to Revive & Nourish the Original Heritage Values.

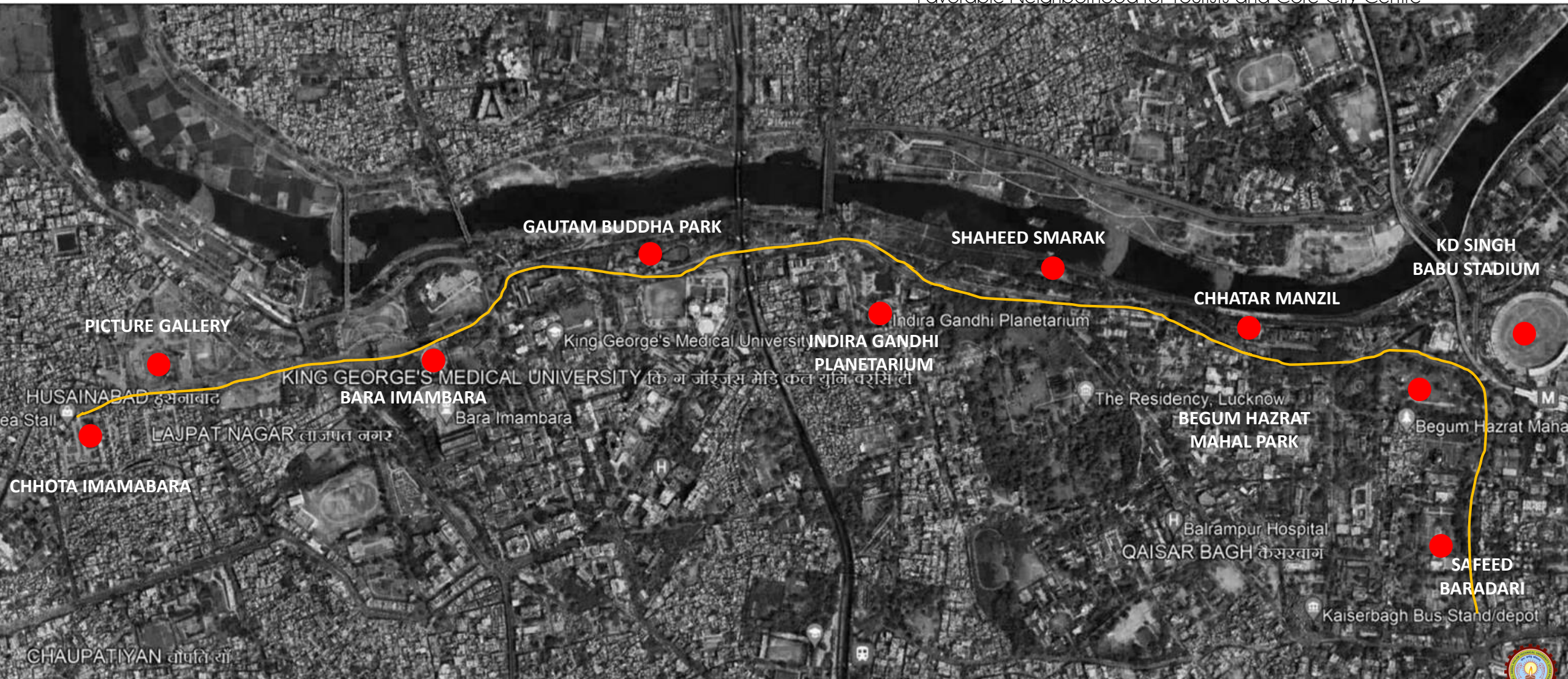
Objectives

- To provide an identity to the heritage of Lucknow in a holistic and integrated fashion.
- For systematic and regulated development of the heritage complex.



Delineation of Heritage Corridor

- Total 21 Heritage Structures in 4.83 kilometers
- 13 Parks and Open Spaces along the Corridor
- Receives more than 70% of Total Tourist Footfall of the Entire City.
- Favorable Neighborhood for Tourists and Core City Centre



Strategies for Façade Control Guidelines

1	Incorporate Existing textures, colors, materials, and distinctive architectural features that add visual interest.
2	Add scale and interest to the building façade or its components by articulated massing.
3	Reinforce the existing facade rhythm along the street with architectural elements.
4	Discourage blank walls. Architectural features, enhanced materials, fenestration, planting, lighting, and signage may contribute to a more pedestrian friendly streetscape.
5	Include architectural features, such as, canopies, or cornice treatments that provide shade to maintain harmonious skylines.
6	Encouraging the street edge with see through fences to maintain the visual connectivity along the heritage corridor.



Land Use

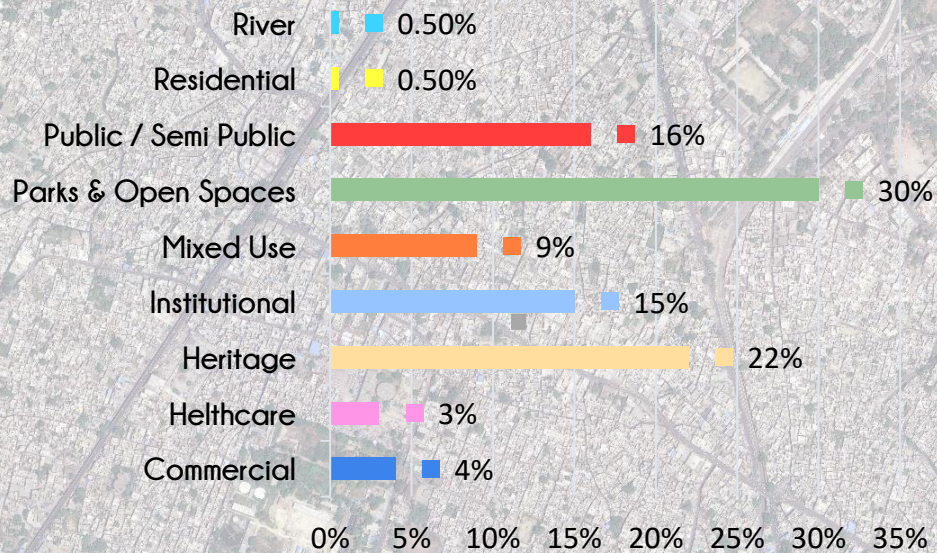
Major Coverage is

- Parks & Open Spaces,
- Heritage,
- Public and Semi Public,
- Institutional, and
- Mixed Use

Legend

- Commercial
- Healthcare
- Heritage Area
- Institutional
- Mixed Use
- Parks & Open Spaces
- Public / Semi Public
- Residential
- River
- River Bank
- Transportation
- Vacant Land

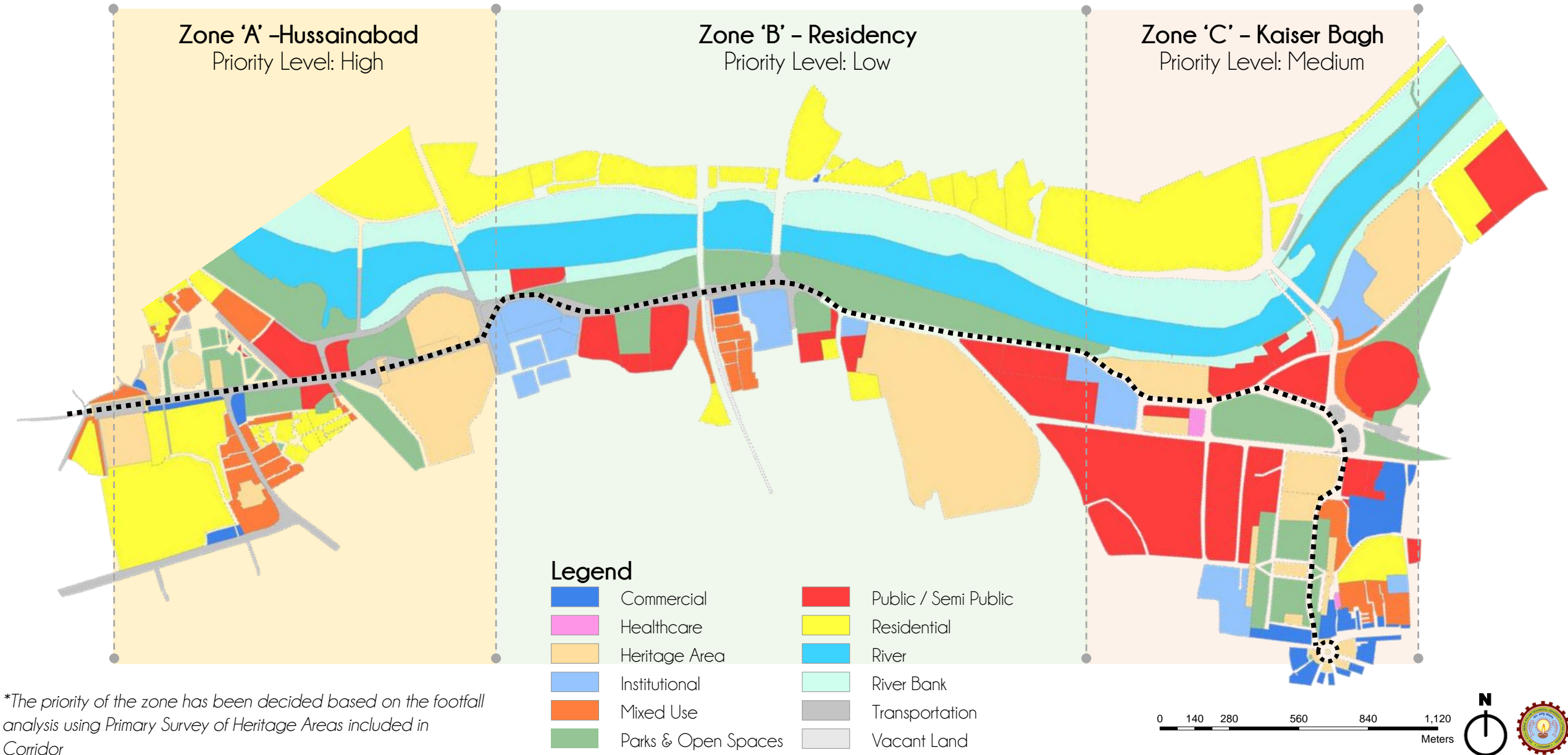
Land Use % along Corridor



*Based on 2031 Lucknow Master Plan

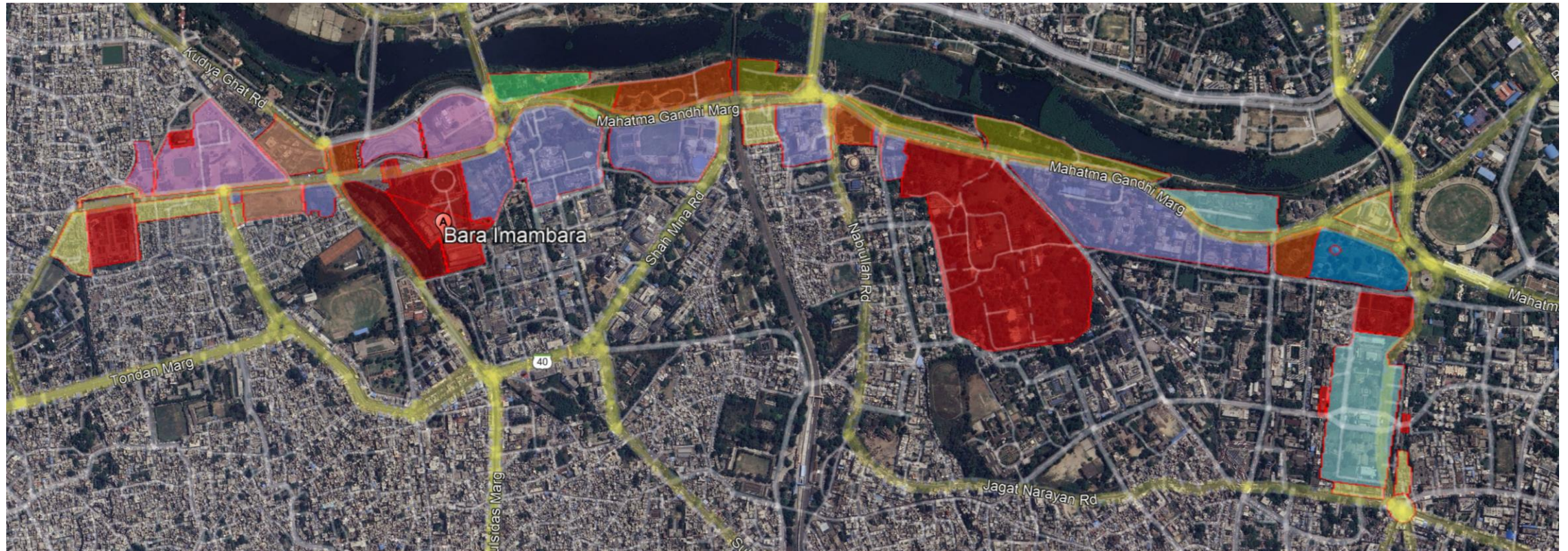
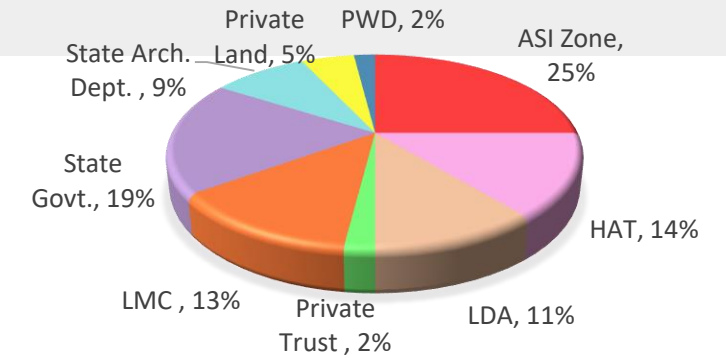


Zoning Prioritization

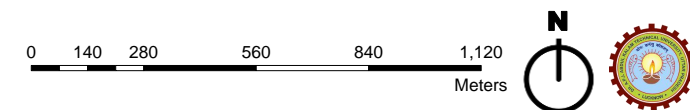


Ownership Mapping

Legend



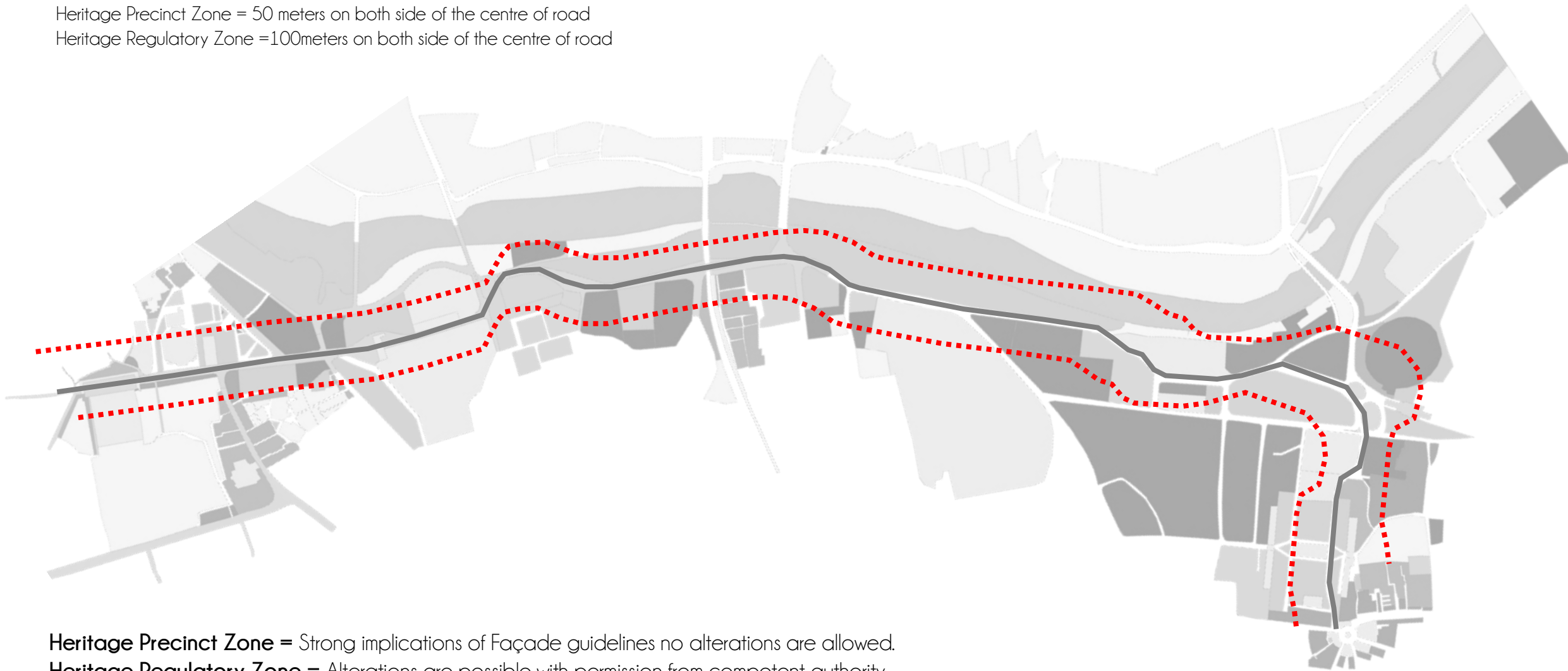
*Based on primary survey on the site



Heritage Precinct Zone

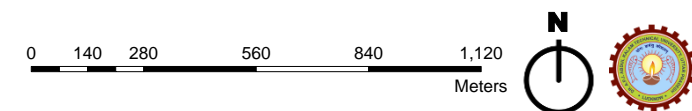
Heritage Precinct Zone = 50 meters on both side of the centre of road

Heritage Regulatory Zone = 100 meters on both side of the centre of road



Heritage Precinct Zone = Strong implications of Façade guidelines no alterations are allowed.

Heritage Regulatory Zone = Alterations are possible with permission from competent authority.



Categorization of Heritage Assets

Grade I	Grade II	Grade III
Monuments of National Importance / ASI protected Monuments or Similar Heritage Assets.	Monuments of State Importance / State Owned & other similar heritage Assets.	Local Importance / Private properties and other similar heritage assets.
Definitions		
Heritage Grade I comprises of Buildings with national importance , embodying excellence in architectural design, style, technology and material usage and aesthetics: they may be associated with a great event, personality, movement or institution. They Have been and are prime landmarks of the region.	Heritage Grade II comprises of Buildings with regional and local importance , possessing special architectural or aesthetic merit. or culture or historical significance though of a lower scale than heritage grade-I. They are local landmarks which contribute to the image and identity of the region. They may be the models of proportions and ornamentation.	Heritage Grade III Comprises buildings of importance for townscape that evoke architectural, aesthetics or social interest though not as much as in heritage grade II. These contribute to determine the character of the locality and can be representative of lifestyle of a particular community or region and may also be distinguished by setting or special character of the façade and uniformity of height, width and scale.
Objectives		
Richly deserves careful preservations	Deserves Intelligent conservation.	Deserves Intelligent conservation though on a lesser scale than grade II and special protection to unique features and attributes)



Categorization of Heritage Assets

Grade I	Grade II	Grade III
Scope for Changes		
No interventions be permitted either on exterior or interior of the heritage buildings or natural features unless it is mandatory for the strengthening of the building required for reconstruction, renovation or repair purposes. Only minimum changes will be allowed and they must be conformity with the original.	Exterior changes will be allowed as per the directed façade control guidelines. This will also include the adaptive reuse strategies and beautification works of Important cultural heritage at the regional or local level.	For grade III buildings, interior as well as exterior changes will be allowed. These buildings will compose of various distinguishable architectural features and it should be renovated or erected as per the design specification suggested in the façade control guidelines. For Grade III buildings Commercial use on ground and first floor would be permitted along with mixed use residential type.
Development Procedures		
Under ASI, hence ASI will be directly involve in any heritage conservation projects.	Development Permission through State Areological Board / Lucknow Development Authority and Lucknow Municipal Corporation.	Development permission from Lucknow Development Authority under Heritage Committee.
Building Height		
For all reconstruction and renovation projects the height and proportion of the monuments must be retained in its original form.	For all reconstruction and renovation projects the height and proportion of the monuments must be retained in its original form.	For all reconstruction and renovation projects as well as erection of new structures the building height will not surpass the height of the most prominent monument of the heritage corridor or should be as per the specified guidelines.



Categorization of Heritage Assets

Grade I	Grade II	Grade III
Bada Imambara	Hussainabad Gate	All the Residential, Commercial and Mixed Use built ups
Chhota Imambara	Sathkhanda	Gulab Vatika (Bada Imambara)
Roomi Gate	Naubat Khaana	Clock Tower Recreational Greens
Picture Gallery	Clock Tower	Nimbu Park (Bada Imambara)
General Wali Kothi	Kothi Farhat Baksh	Gautam Buddha Park
Tomb of Zaidi	Chattar Manzil	Haathi Park
Tomb of Saadat Ali Khan	Gulistan E Iram	Suarj Kund Park
Lakhi and Chaulkahi Gate	Darshan Villas	Kargil Shaheed Park
	Laal Baradari	Residency Park
	Bathkhanda	Globe Park
	Safed Baradari	Begum Hazrat Mahal Park
	Amir ud Daula Library	Butler Park
		Gulab Park
		I love Lucknow Park



Identification of Architectural Elements

Arches



Bada Imambara



Rumi Darwaza



Bada Imambara Entry Gate



Chhota Imambara

Columns and Pilasters



In Front of Chhota Imambara



Kaiser Bagh Complex near Chaulakhi Gate



Kaiser Bagh Complex



Kaiser Bagh Complex



Identification of Architectural Elements

Shops and Mixed Use Buildings



In front of Clock Tower



Kaiserbagh Circle



In front of Clock Tower



Near Chhota Imambara



Decoding Original Colour Palette for Built Structures

Bada Imambara



#DECCAD



#D9CCA8



#D3C5AE

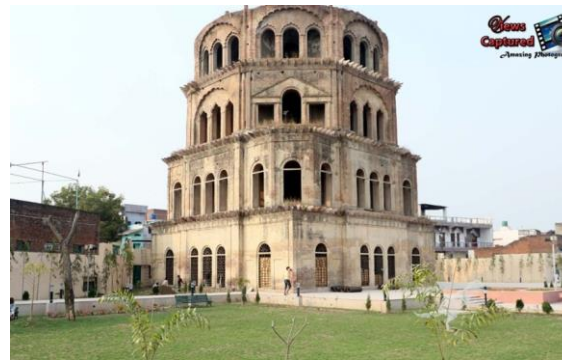


#F3DBB0

Satkanda



#EDD4B2



#EAD4B2



#C07D60

Baouli



#C78C64

Bhatkande



#F2CA82

Tomb of Mushirzadi



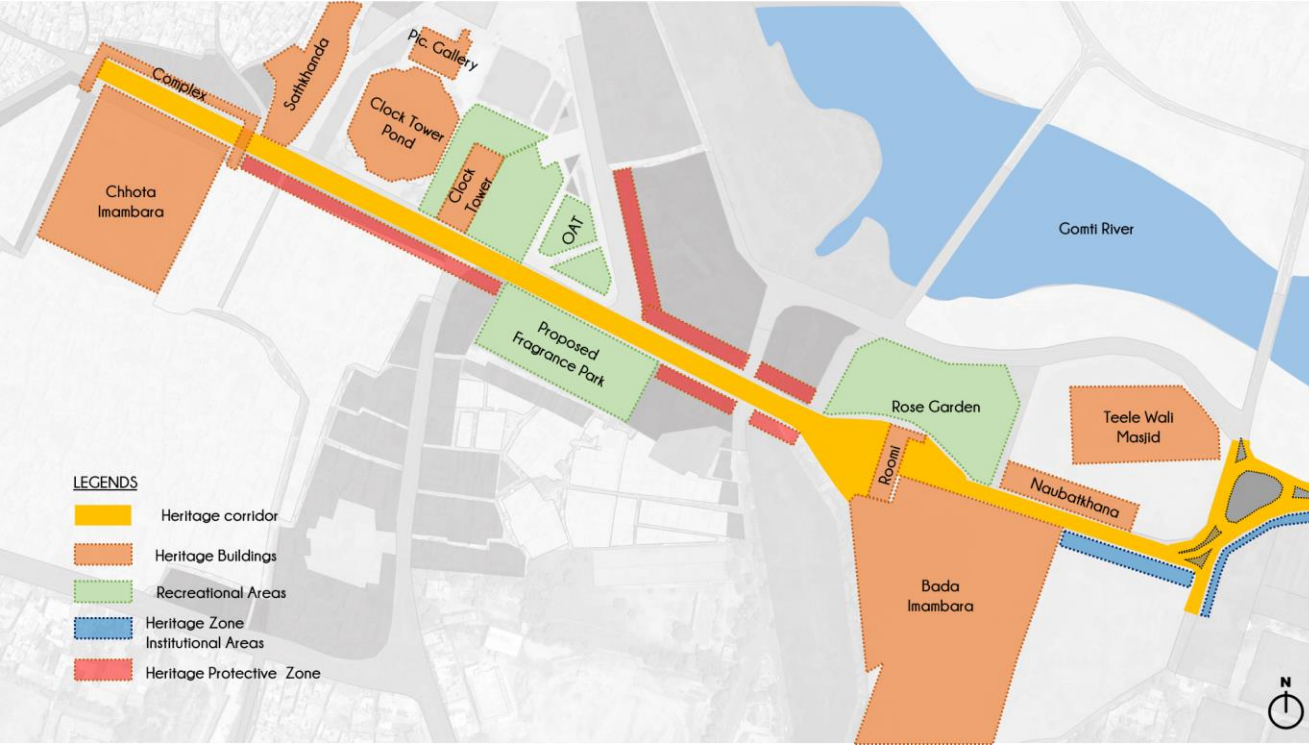
#EDD4B2



Decoding Existing Colour Palette for Built Structures

Core Heritage	Parks and Open Spaces	Public and semi Public	Institutional	Mixed use
				
				
				
 	 	 	 	 





Regenerating the Core Heritage Zone (Zone A – Hussainabad)



Condition Assessment Façades in Zone 'A'

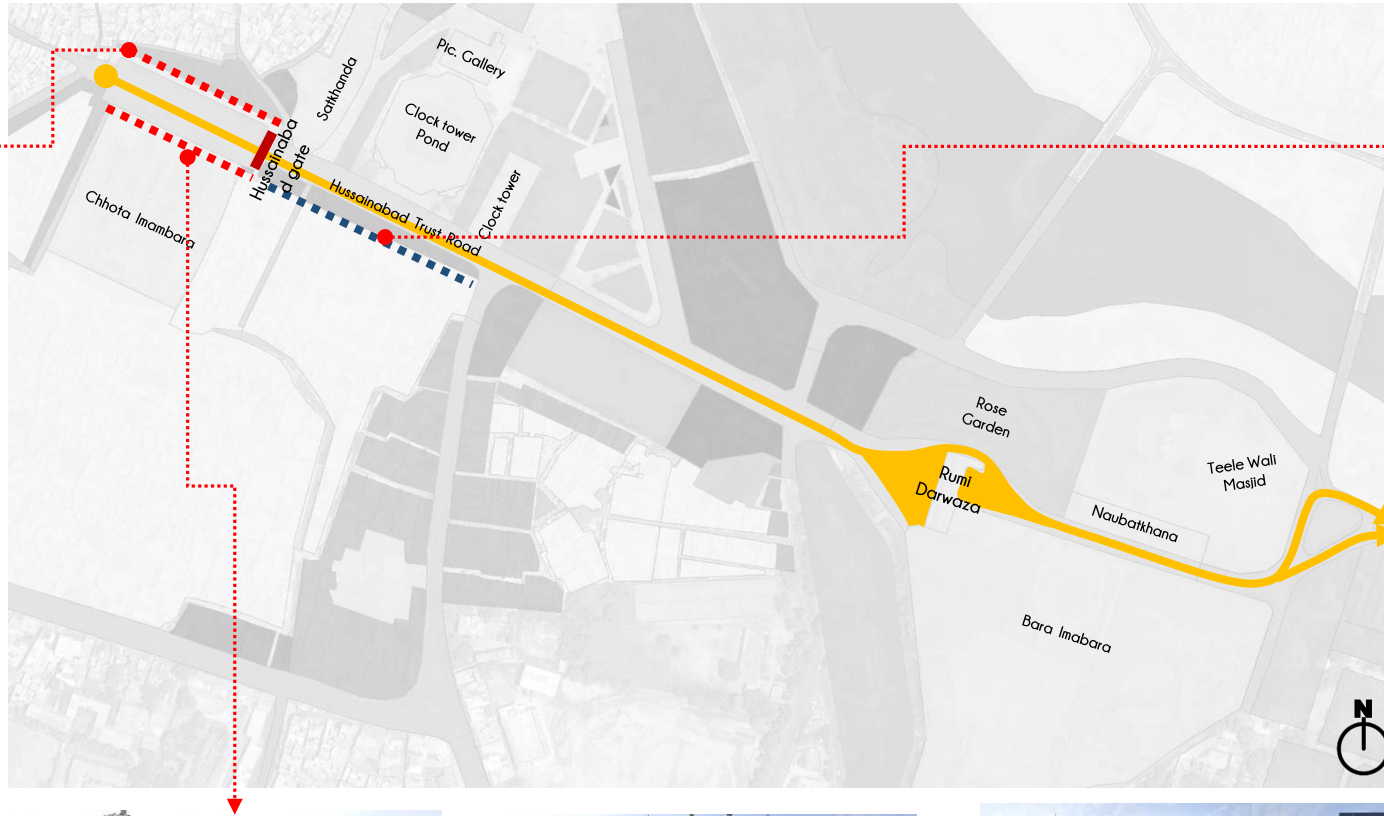


Existing Condition of Façade in Front of Chota Imambara



Deteriorating Condition of Gate in front of Chota Imambara

Case: A1



Condition of Façade including Mixed Use Land Use in the Heritage Corridor



Condition of Façade along the Hussainabad gate consist of Mixed Land Use.

Case: A2



Renovated Façade and restored gate along the Chhota Imambara

Case: A1



Condition of Shops along Chhota Imambara

Condition Assessment Façades in Zone 'A'

Façade Deterioration



Coverage of Façade with Hoarding & Billboards



Deteriorated Structure & Parapet



Weathered Façade of Heritage Built ups

Case A1: Façade View from Hussainabad Gate towards Chhota Imambara



Encroached Footpath by shops & Residents



Condition of Façade along Hussianabad Gate



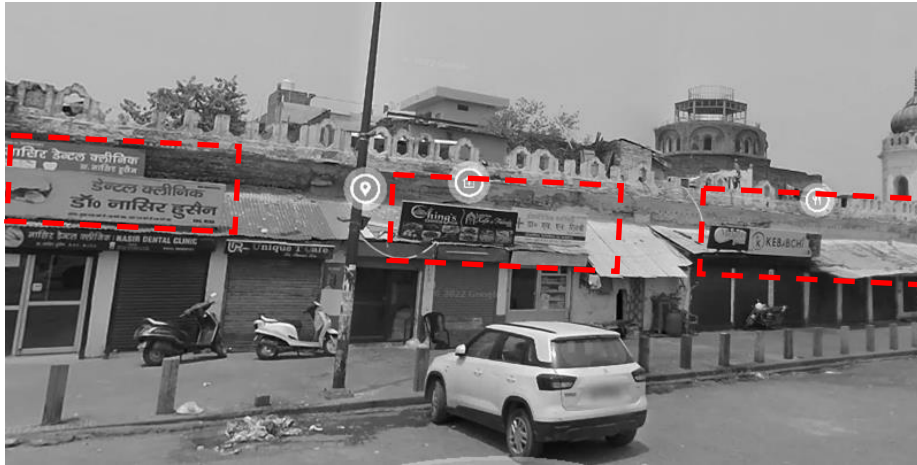
Encroachments along the Road

Case: A2 Façade View from Rumi Gate towards Hussainabad Gate



Design Intervention -Encroachment in Façade

From Hussainabad Gate to Chhota Imambara



Issues:

- The existing façade is being encroached due to application of large advertising panels and billboards along the façade
- This is one of the factor of visual pollution and creates a non definite texture of the façade
- Also responsible for damages, application of non defined materials, colours and appearances.



Existing Condition

Proposal:

- Removal of all shops hoardings from the façade
- Removing all the vertical obstruction in between
- Intervention of Ornamental brackets
- Similar design strategies for the overall complex
- Intervention of signages for all the existing shops
- Highlighting the Architectural Elements & retaining the overall -character of the Precinct



Design Intervention –Street edge

Existing Condition



Case A1: Façade View from Hussainabad Gate towards Chhota Imambara

Existing Condition



Case: A2 Façade View from Rumi Gate towards Hussainabad Gate

Proposal



Rules

- The existing elements in the street edge should be integrated and maintained.
- The existing street edge should be repaired and maintained.

Proposal



Note: To be integrated at the building edge in Zone A



Design Intervention -Parapet

Integration of existing feature



Parapet Wall



Façade View from Hussainabad Gate to Chhota Imambara

Existing Condition



Façade View from Rumi Gate towards Hussainabad Gate

Proposal

Rules

- The existing design of parapet wall From Hussainabad gate to Chhota Imambara should be integrated in Zone A completely.



Material Finish: Lime Plaster

Thickness: 150 mm

A: 750 mm

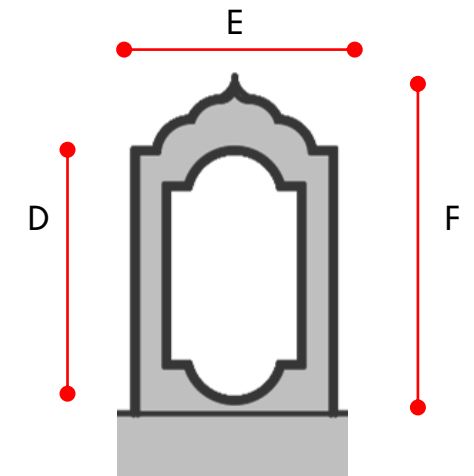
B: 150 mm

C: 900 mm

D: 600 mm

E: 450 mm

F: 750mm



Note: To be integrated in all the building facades in Zone A



Design Intervention -Stucco Work

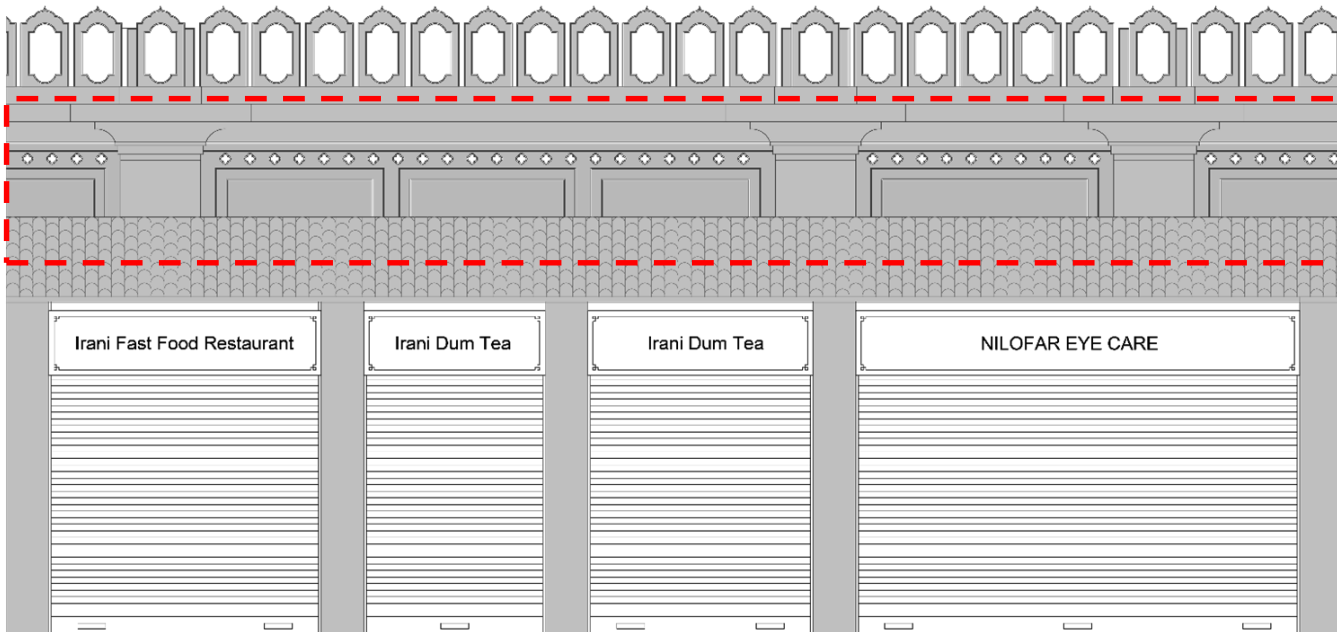
Existing Condition



Integrating the Existing Stucco

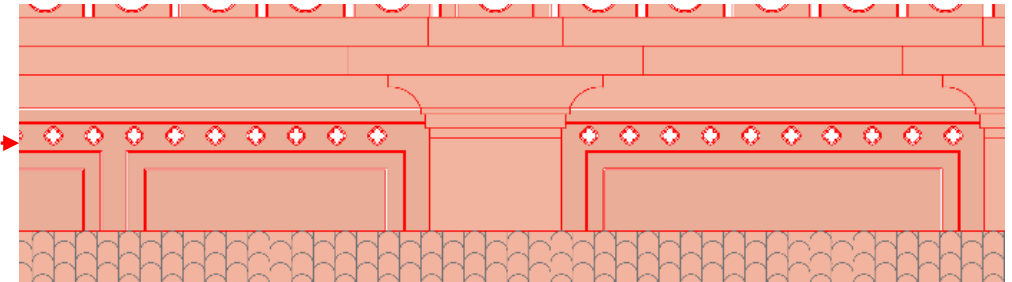
Façade View from Hussainabad Gate to Chhota Imambara

Proposal



Rules

- The existing stucco work in the building facades from Hussainabad gate to Chhota Imambara should be repaired and maintained.



- Material Finish:** Lime plaster
- Dimension:** As per existing structure

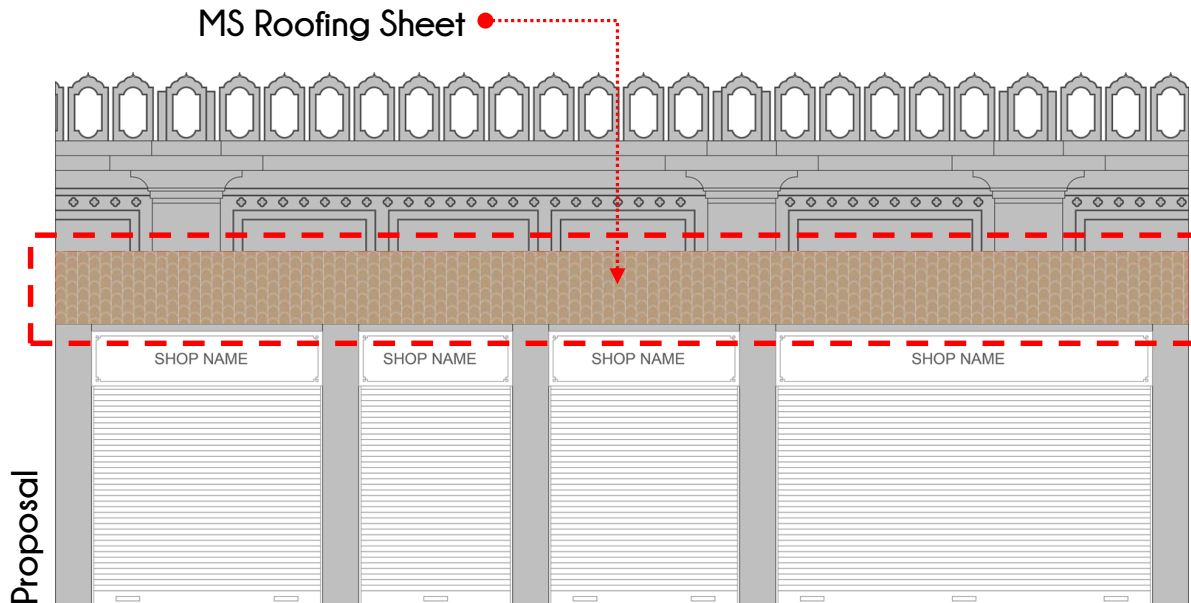
Note: To be integrated in the buildings from Hussainabad gate to Chhota Imambara (Case A1)



Design Intervention -Roofing Sheet

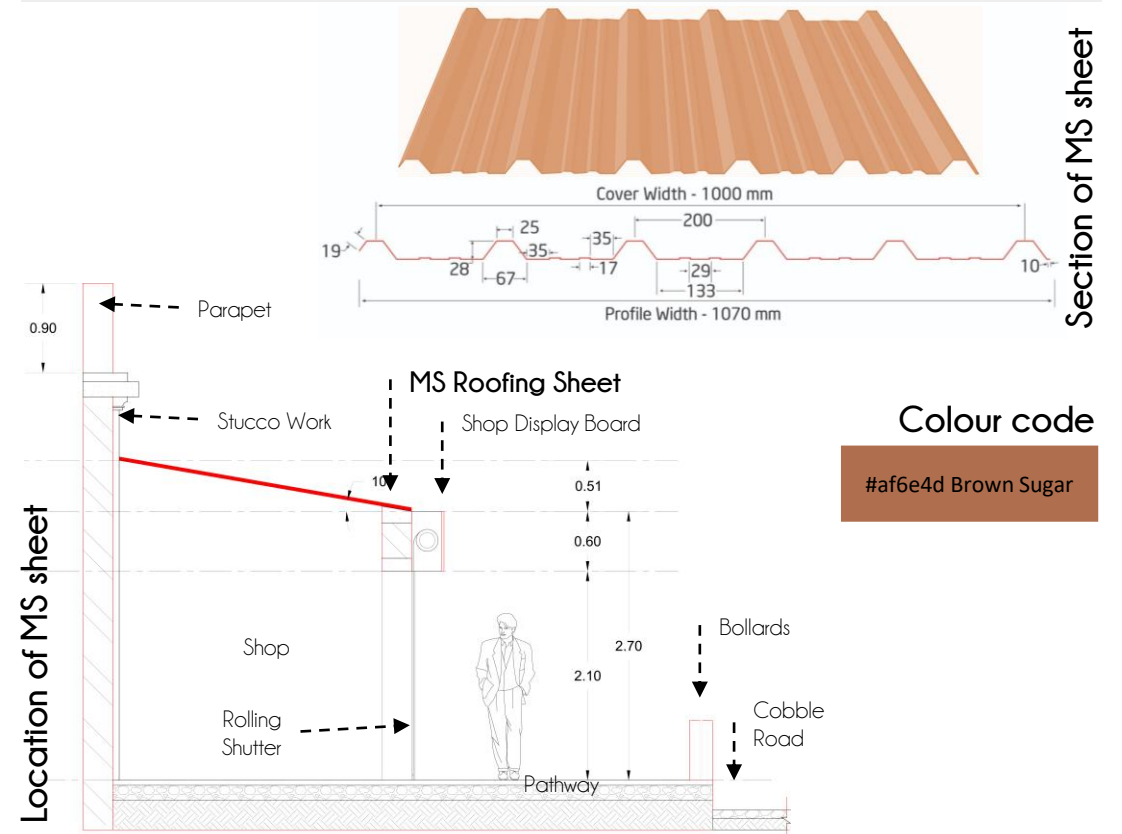


Façade View from Hussainabad Gate to Chhota Imambara



Rules

- The prescribed section and colour of the sheet should be followed throughout.
- The angle of 10° should be followed thorough out.
- If the existing sheets is in deteriorated conditions need to be changed.
- If it is in usable condition then needs to painted as per colour palette..



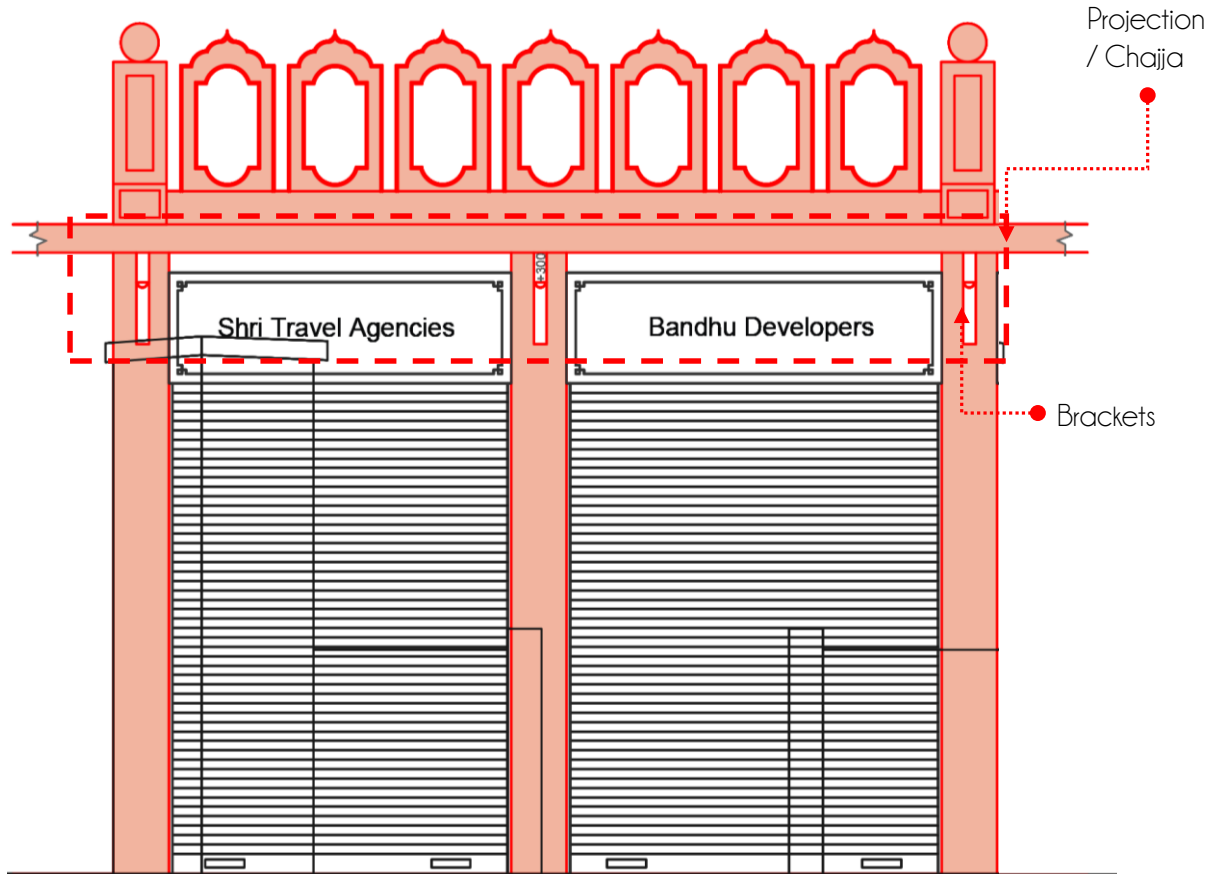
Note: To be integrated in the buildings from Hussainabad gate to Chhota Imambara (Case A1)



Design Intervention -Projection & Brackets

Rules

- A cast iron bracket should be placed below the projections.
- The 900mm wide projection must be maintained in all the built façade.



Façade View from Rumi Gate to Hussainabad Gate

Projection

Material Finish: Lime plaster

Dimension: 900mm

Projection

300 mm or as per site conditions

Bracket

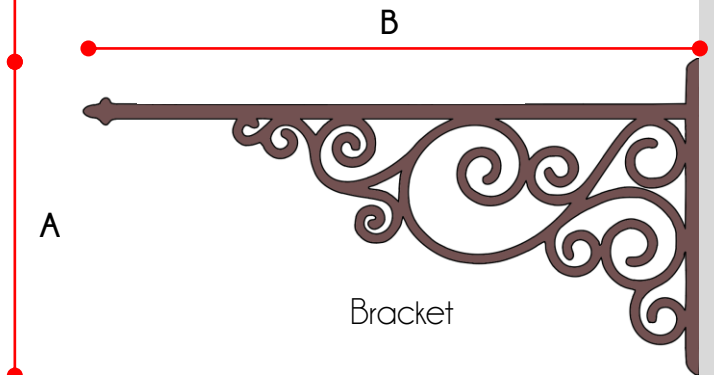
Material Finish: Cast iron with PU Coating

A: 300 mm

B: 600 mm

Colour code for PU Coating

#996666 Copper Rose



Parapet

Brick wall

Note: To be integrated in the buildings from Rumi gate to Hussainabad gate (Case A2)



Design Intervention- Shutters

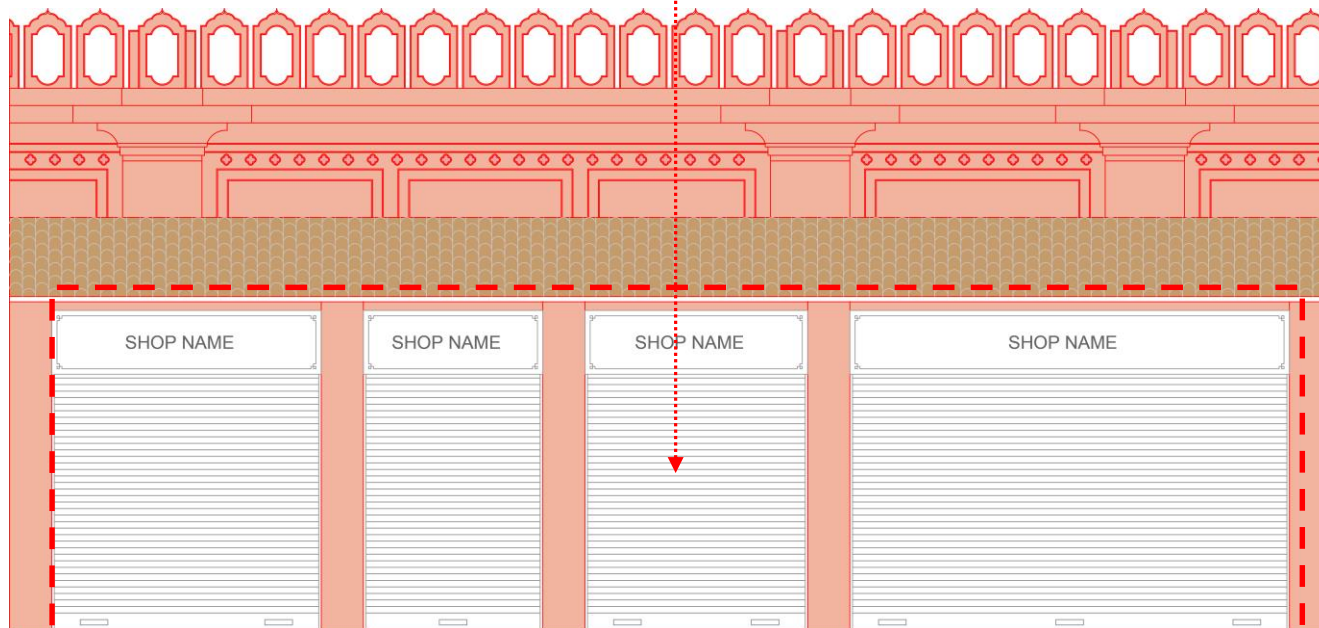
Rules

- If, the existing shutters in deteriorated conditions need to be changed in suggested colour code.
- If it is in usable condition then needs to be painted as per colour palette.

Colour code for shutter

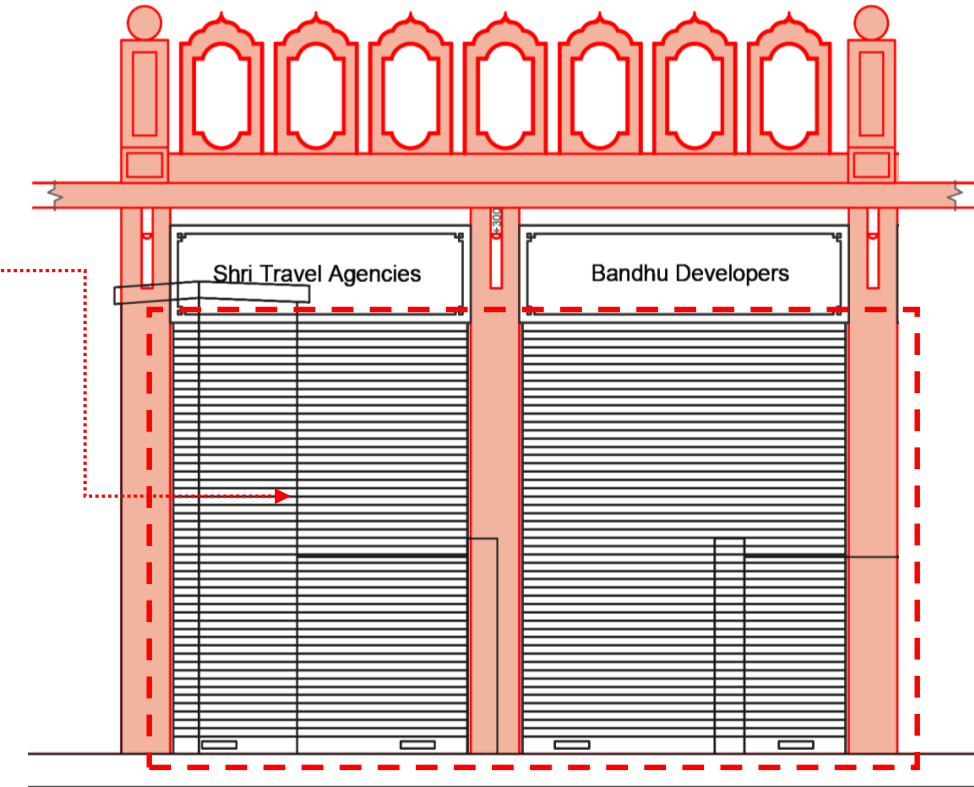
c9c0bb Pale Silver

Shutters in shops opening



Façade View from Hussainabad Gate to Chhota Imambara

Shutters in shops opening



Façade View from Rumi Gate to Hussainabad Gate

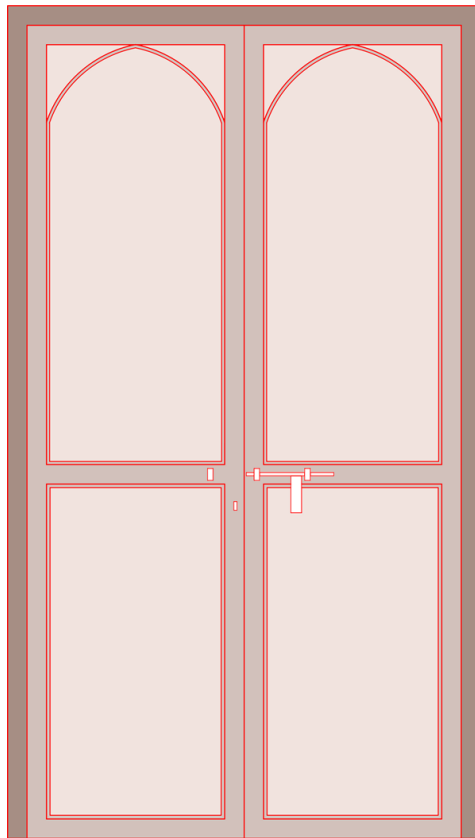
Note: To be integrated in the buildings from Rumi gate to Chhota Imambara (Case A1 & case A2)



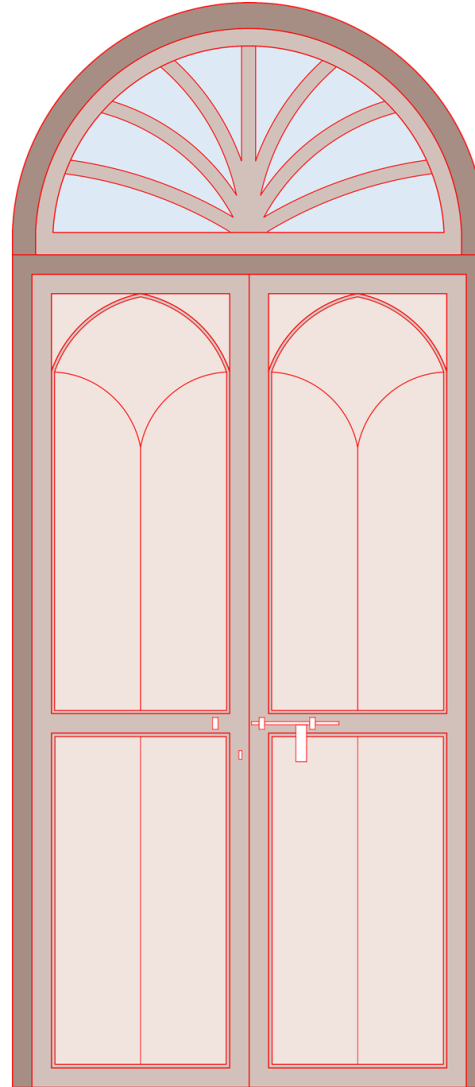
Design Intervention -Openings (Doors & Windows)

Rules

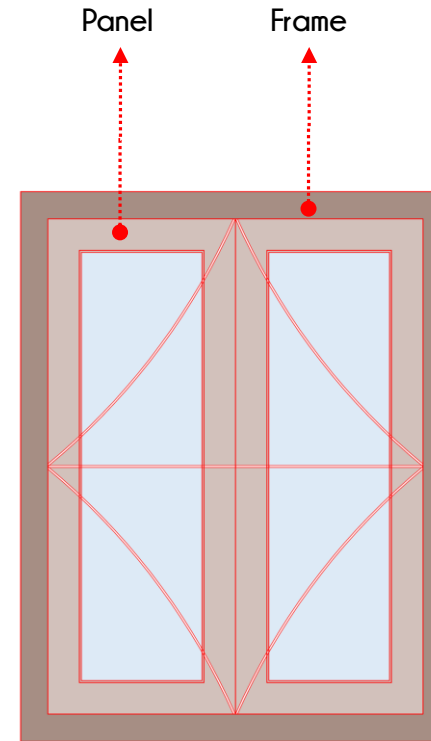
- The door and windows of suggested pattern should be installed, if the condition is unusable.
- If it is in usable condition, then should be painted in suggested colour palette.



Door Option : 1



Door Option : 2



Window

- **Material Finish:** Wooden frame and wooden panel with glass in case of window.
- **Dimension:** As per existing structure

Colour code
for frame

#98817b Cinerous

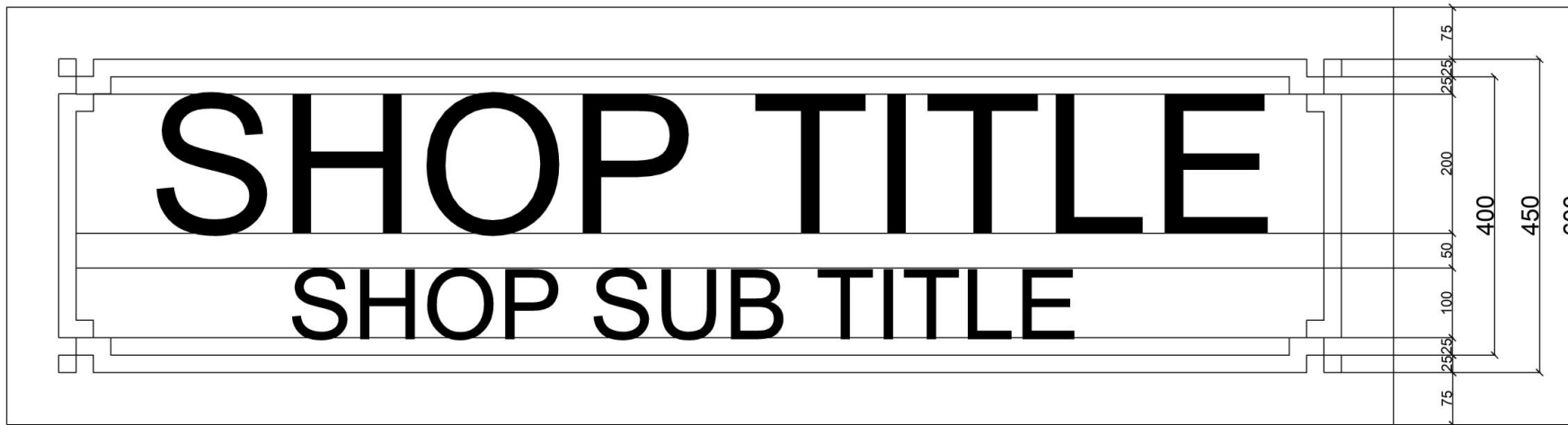
Colour code
for Panel

c9c0bb Pale Silver

Note: To be integrated in the buildings from Rumi gate to Chhota Imambara (Case A1 & case A2)



Design Intervention- Iconography Guidelines (Shop Display Boards)



All dimensions in millimeter

- Width of overall signage = 600 mm
- Width of Border = 75 mm
- Thickness of frame = 25 mm
- Title Font Size = 200 mm
- Sub Title Font Size = 100 mm
- Font Style = Arial
- Surface Material: ACP Sheet

Rules

- The prescribed colour code and material must be followed.
- The width of signage board must be maintained.



Border

Frame

Mid Area

Text

Colour code
for border

#996666 Copper
Rose

Colour code
for mid area

c9c0bb Pale Silver

Colour code
for text

#414a4c
Outer Space

Colour code
for frame

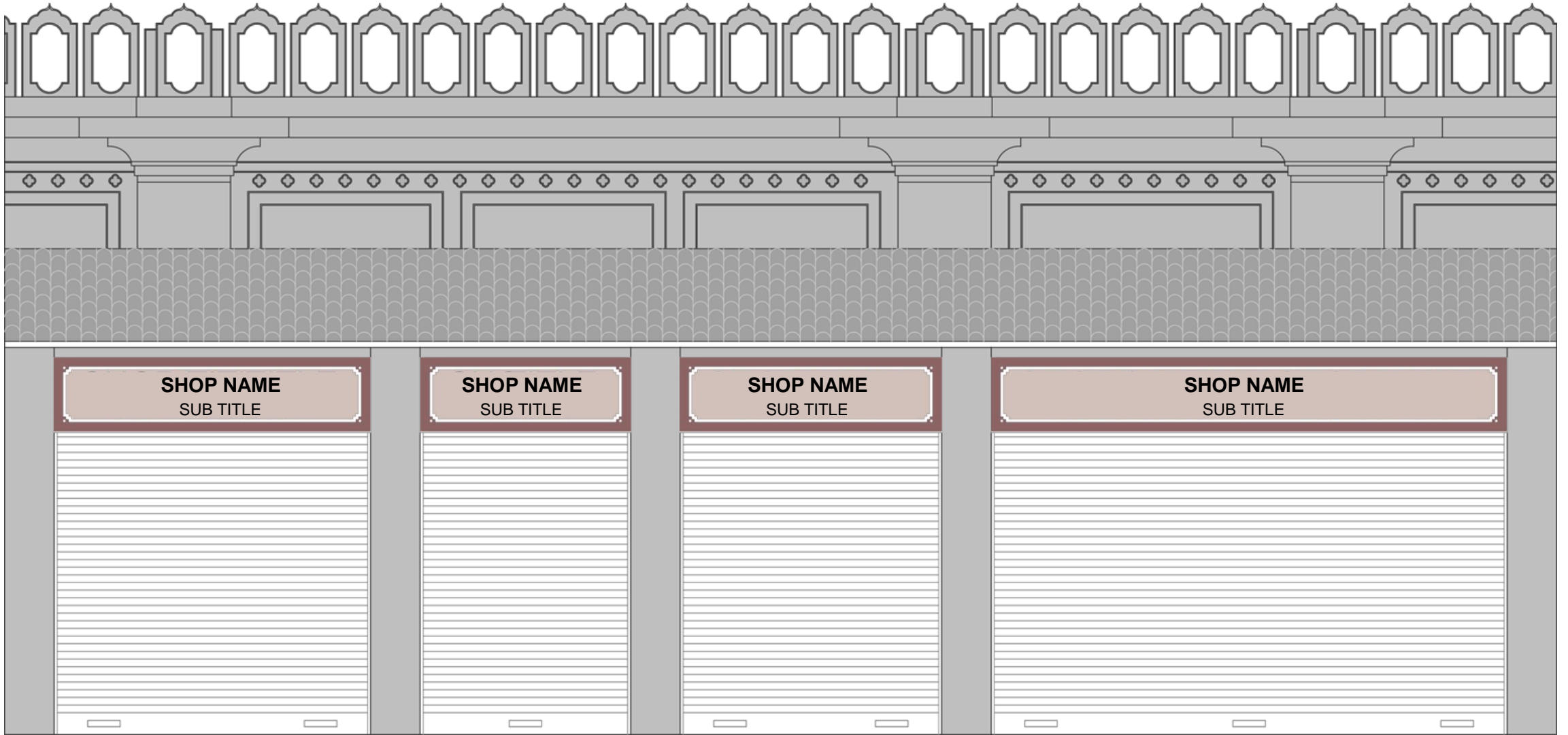
F2f2f2
Vista Paint Winter Mist

Visualisation



Visual representation- Iconography Guidelines (Shop Display Boards)

Visualisation of Display boards on the façade with varying dimension



Visual representation- Fenestration treatment

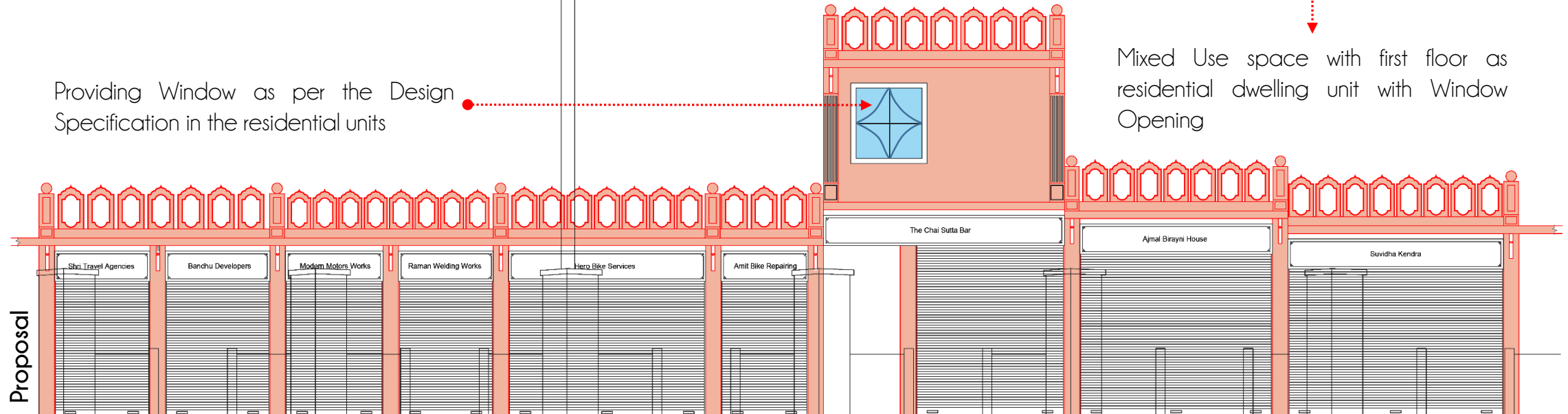
Existing Condition



Providing Window as per the Design Specification in the residential units

Mixed Use space with first floor as residential dwelling unit with Window Opening

Proposal



Façade View from Rumi Gate to Hussainabad Gate

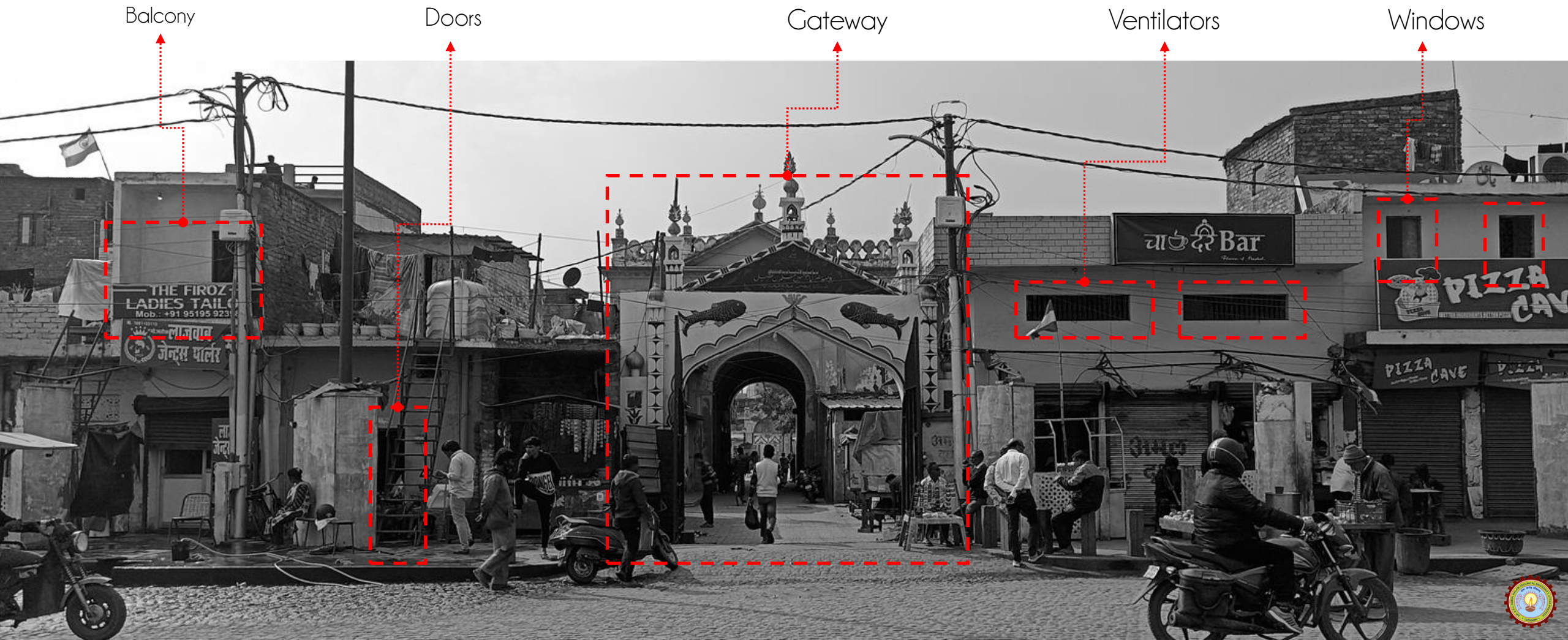


Visual representation- Fenestration treatment

Existing Condition

Issues:

- Misaligned openings in the façade.
- Absence of uniformity in shape and size of the fenestrations.
- Application of non defined materials, colours and appearances.



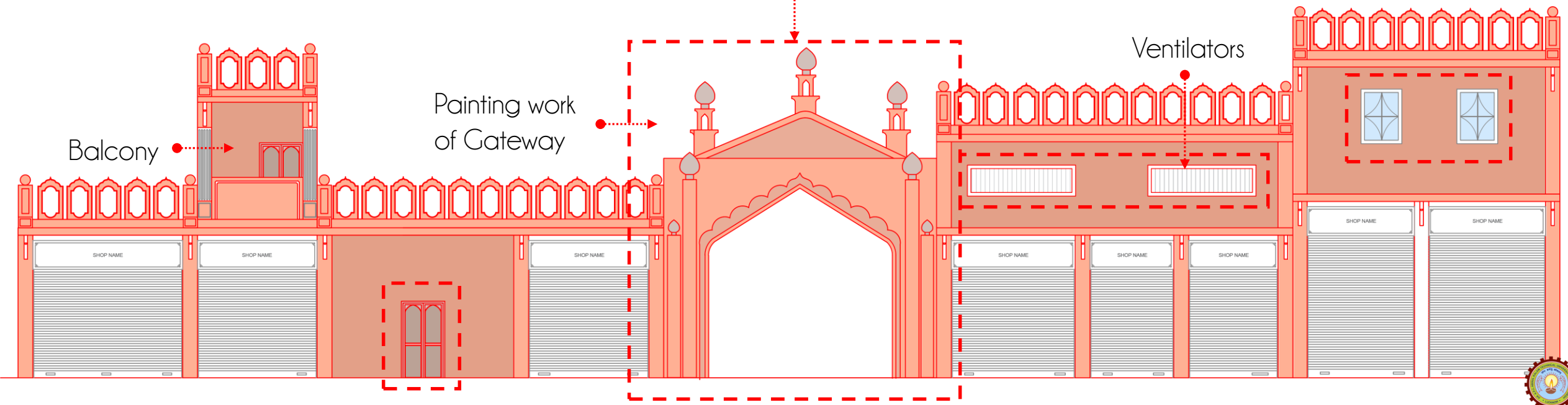
Visual representation- Fenestration treatment

Proposal

Strategy

- Organizing openings of the buildings in alignment
- Uniform and typical design for doors and windows with suggested colour palate and materials.
- Refining the balcony with suggested colour palette and door design to gain uniform texture.
- Painting the doorway for the Dargaah in with uniform colour code.

• Retaining Gateway in its Original built form



Visual representation- Façade Treatment (Mixed-use)

Existing Condition

Residential Dwelling Unit

Door Opening for residential purpose.

Issues:

- Openings in first floor residential units are covered with hoardings.
- Absence of uniformity in residential openings.
- Irregular parapet wall.
- Application of non defined materials, colours and appearances



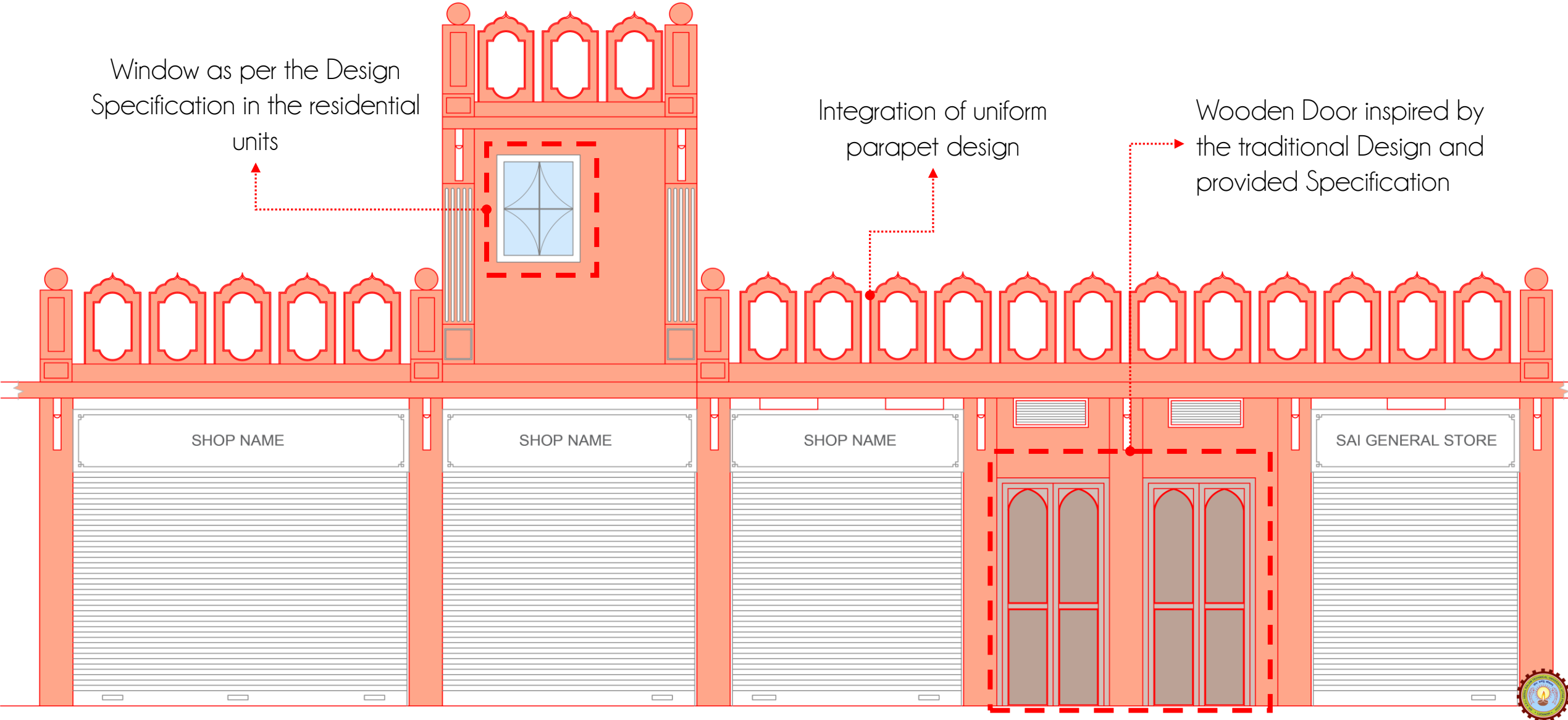
Visual Representation- Façade treatment (Mixed-use)

Proposal

Window as per the Design Specification in the residential units

Integration of uniform parapet design

Wooden Door inspired by the traditional Design and provided Specification



Summary- Colour palette

Color Code & Color Name

Residential	F2f2f2 Vista Paint Winter Mist	#ffddca Unbleached silk	#98817b Cinerous	# c9c0bb Pale Silver
Mixed use	F2f2f2 Vista Paint Winter Mist	#ffddca Unbleached silk	# c9c0bb Pale Silver	
Heritage Building	#c48e69 White tea-colored	#af6e4d Brown Sugar	F2f2f2 Vista Paint Winter Mist	
Public Building	#c48e69 White tea-colored	#af6e4d Brown Sugar	#e6e0d4 White Coffee	
ASI Monuments	#c48e69 White tea-colored	#af6e4d Brown Sugar	#e6e0d4 White Coffee	
Branding & Artwork	# c9c0bb Pale Silver	#996666 Copper Rose	F2f2f2 Vista Paint Winter Mist	#414a4c Outer Space
Building Components				
Roofing sheet	#af6e4d Brown Sugar	---	---	
Shutter	# c9c0bb Pale Silver	---	---	
Doors & Windows	# c9c0bb Pale Silver	#98817b Cinerous	# c9c0bb Pale Silver	
Brackets (PU Coating)	#996666 Copper Rose	---	---	

Base

To be used in 70%-80% of area

Base or highlighter

Highlighter

To be used for highlighting the specific design elements

Rules

- Building facades should not use more than three colours.
- Simple colour schemes to be encouraged with respect to the existing colours of heritage structures
- Black, fluorescent and neon colours should not be used as primary colour
- Black or dark colours should be restricted to doors and window frames, metal work and security.

**In case of contemporary building the surface finish should be paint only as per prescribed palette.*

How to read the color palette?

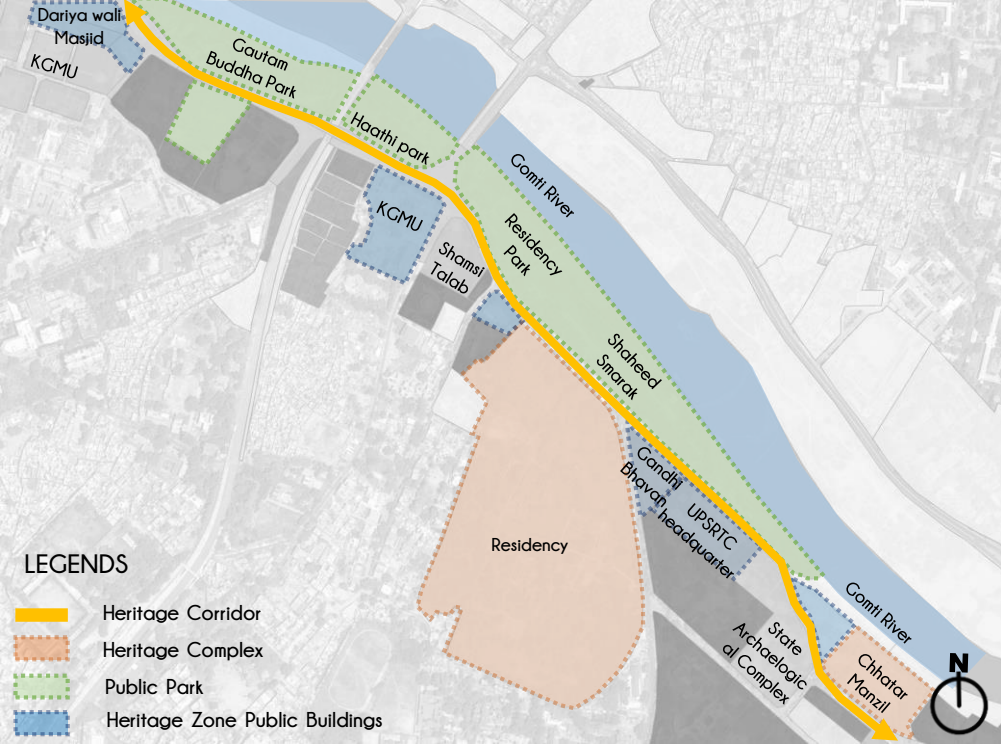
#e6e0d4

White Coffee

Colour Code

Colour Name





Dynamism in Street Scape through Facades (Zone B – RESIDENCY)



Condition Assessment of Fences- Public Parks



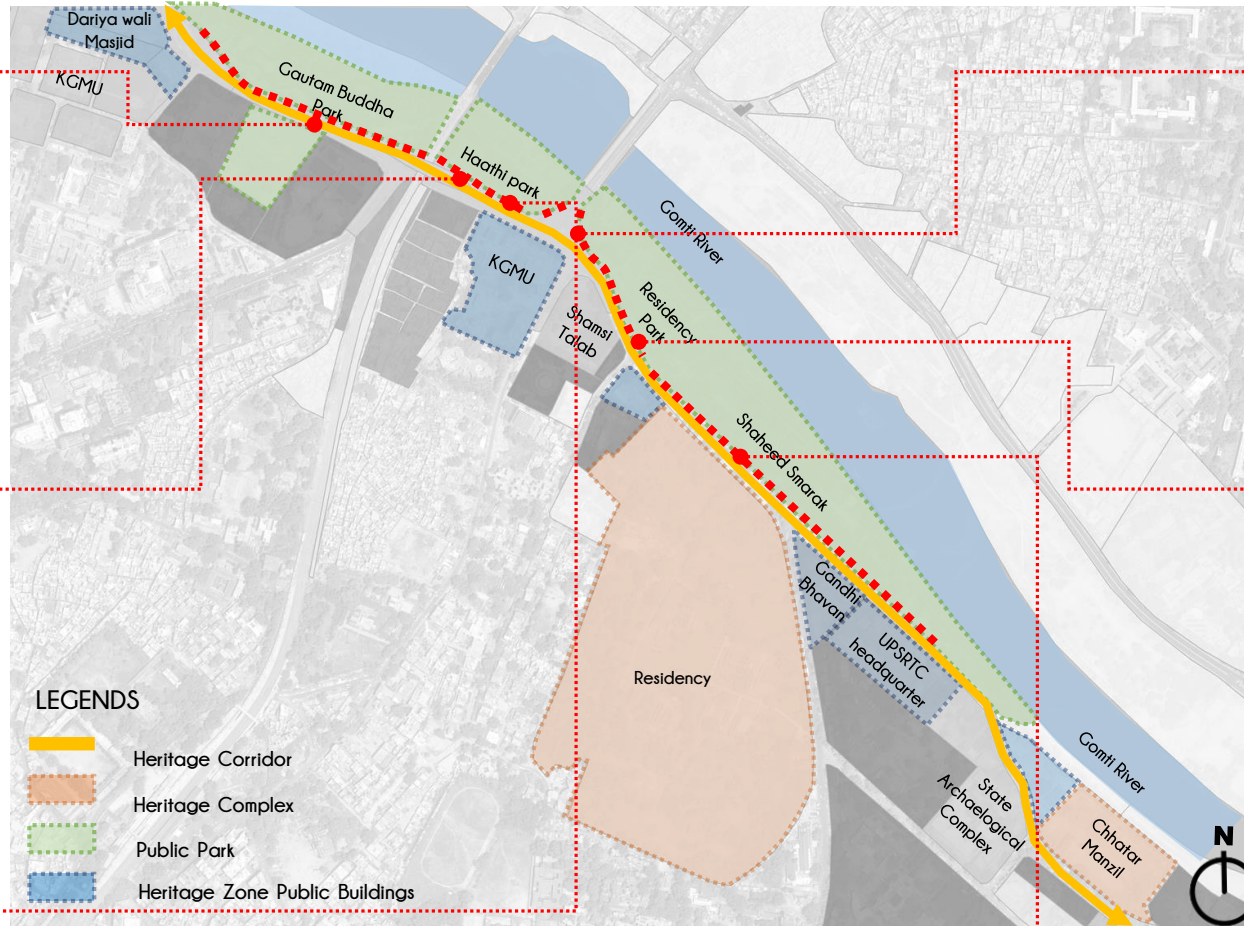
Boundary wall of Gautam Buddha Park



Boundary wall of Haathi Park



Boundary wall of Mahavir Park



Fencing on Traffic Island



Boundary wall of Residency Park



Boundary wall of Shahheed Smarak Park



Condition Assessment of Boundary Walls- Public Buildings

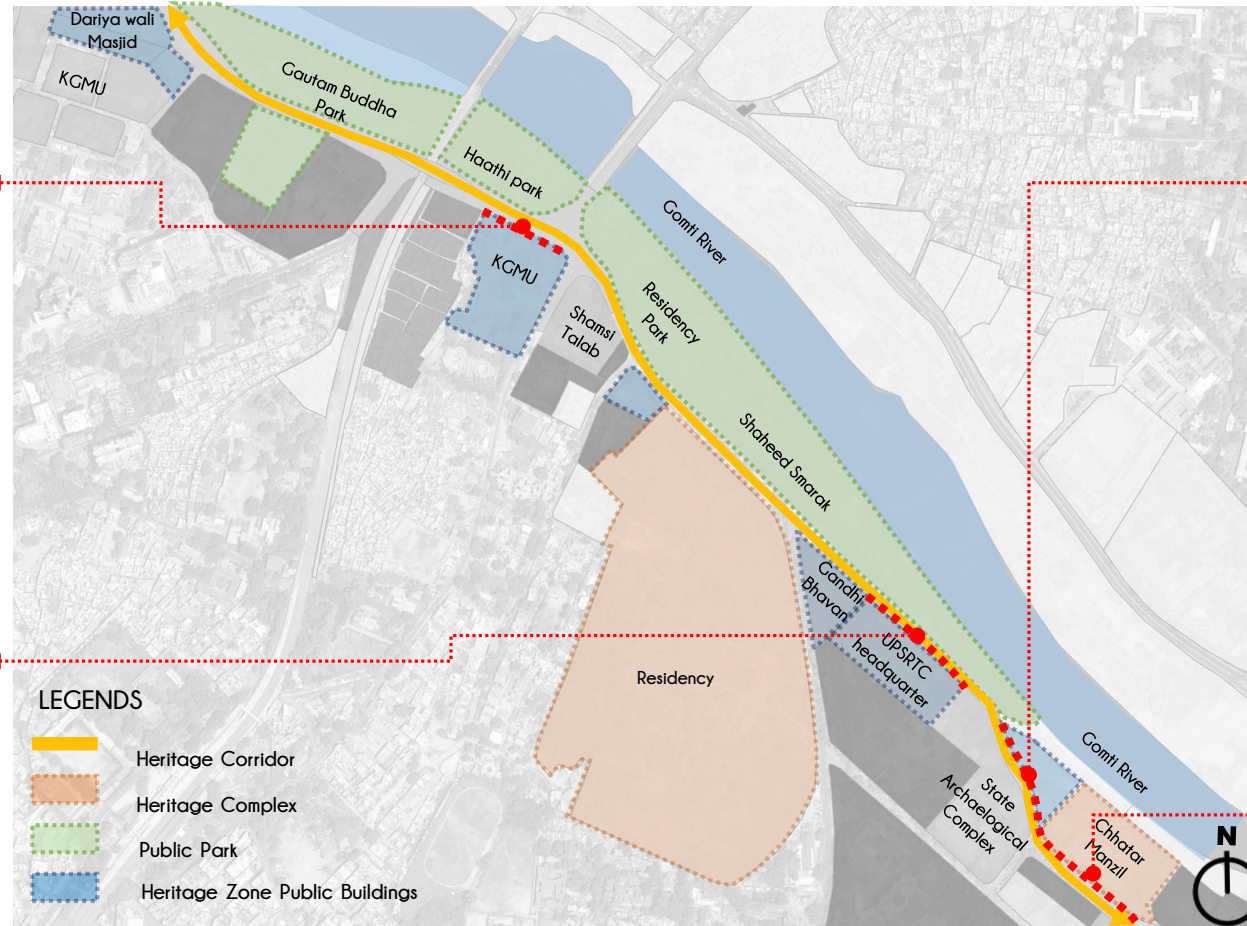
Contemporary Design



King George Medical University



UPSRTC Office



State Archaeological Complex



Chhatar Manzil



Design Inspiration –Branding Strategy

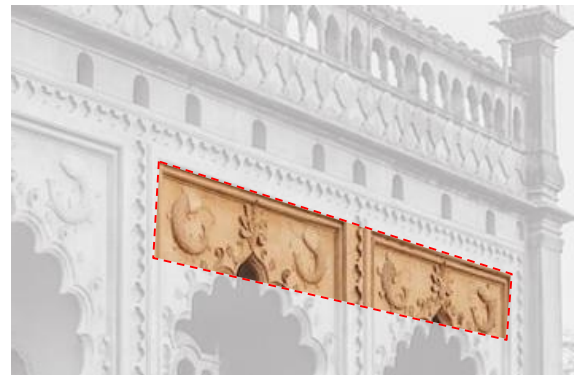
Design inspiration



View of Naubatkhana in front of Bada Imambada

Branding through Logo

- Integration of traditional fish inspired by local heritage architecture of Lucknow.
- Background colour from the proposed branding strategy & Signages of the heritage corridor.
- To be implemented in all the boundary walls, signages and street furnitures creating an identity of Heritage corridor.
- The logo should be made in ACP sheet with CNC cutting.



Inscription of fishes



Proposed Logo



Design Intervention- Fences of Heritage Building

Rules

- The proposed design of fences should be followed throughout to maintain the homogeneity.
- A minimum of 1.8 m height of fences should be maintained in heritage buildings.
- The maximum height can go upto 2.4 m height.
- The branding logo should be installed in ACP sheet with CNC cutting.
- Lime plaster & paint should be used in the brickwork area.
- Prescribed color code must be followed for brickwork & MS Grill.

Colour code & Name

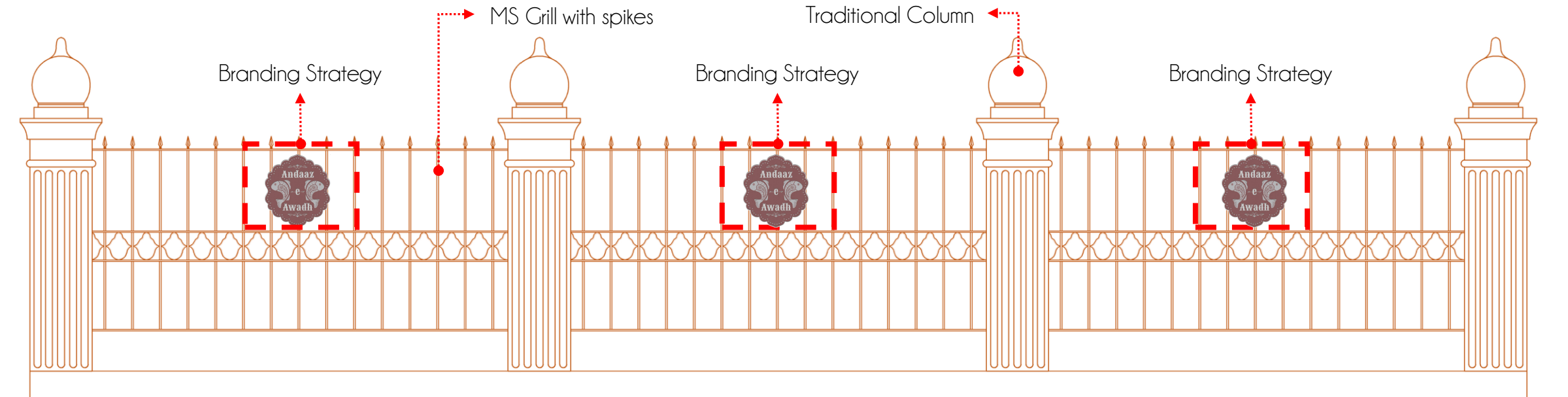
#ffddca Unbleached silk

MS Grill & Brickwork

#996666 Copper Rose

Branding strategy

- **Surface Finish:** Lime plaster with paint
- **Dimension:** Height 1.8 m & width as per site condition



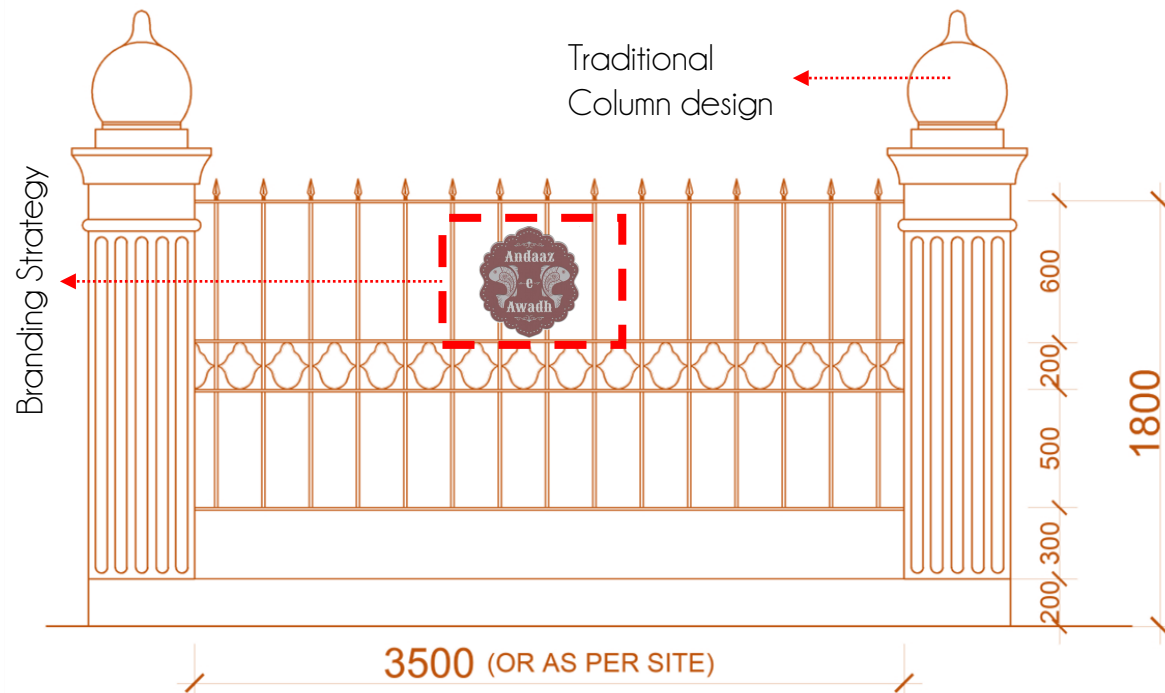
Note: Also considerable for Zone A boundary wall.



Design Intervention- Boundary Walls in Public Buildings & Public Park

Rules

- The proposed design of fences should be followed throughout to maintain the homogeneity.
- A minimum of 1.8 m height of fences should be maintained in public buildings.
- The maximum height can go upto 2.4 m height.
- The boundary wall should be raised from the ground with 200 mm minimum.
- The branding logo should be installed in ACP sheet with CNC cutting.



For 1.8 Meters of Height

Note: Also considerable for Zone A boundary wall.

Surface Finish: Lime plaster with paint

Dimension: As per site conditions

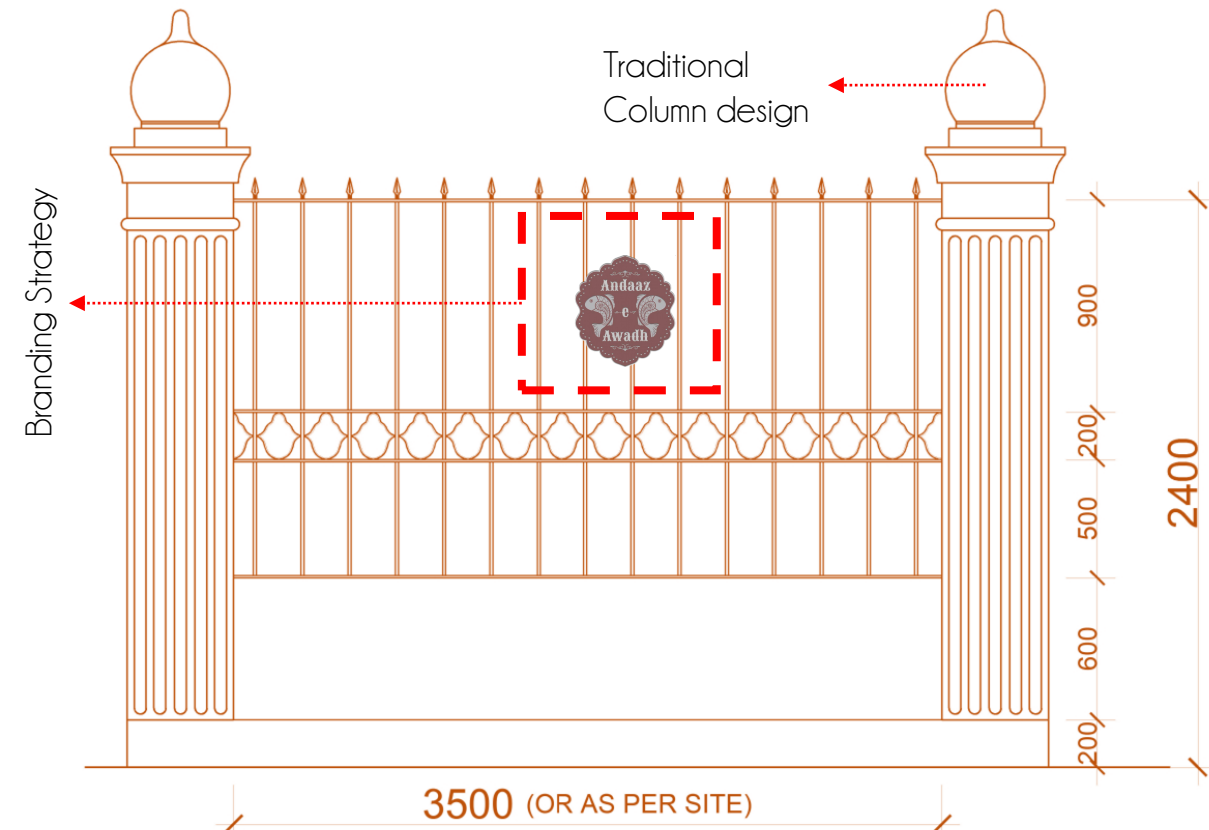
Colour code & Name

#ffddca Unbleached silk

MS Grill & Brickwork

#996666 Copper Rose

Branding strategy



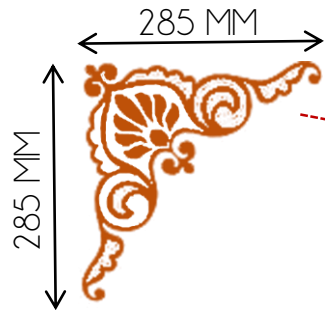
For 2.4 Meters of Height



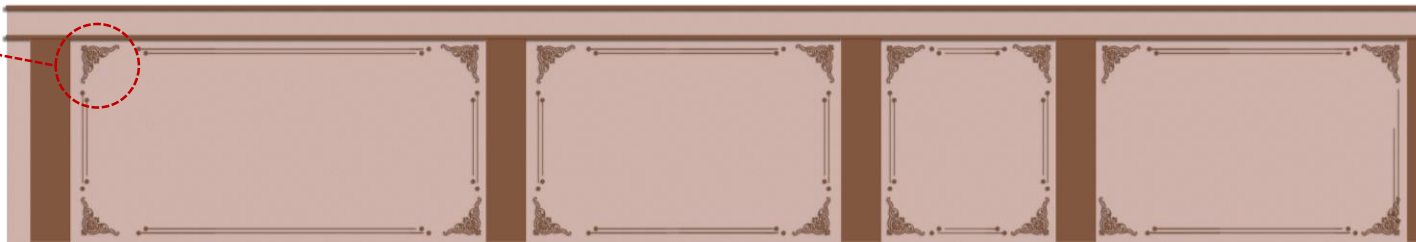
Design intervention- Boundary Walls

Rules

- In case of existing boundary wall it should be painted with prescribed colour codes and stencil design to maintain the homogeneity in the heritage corridor.



Stencil



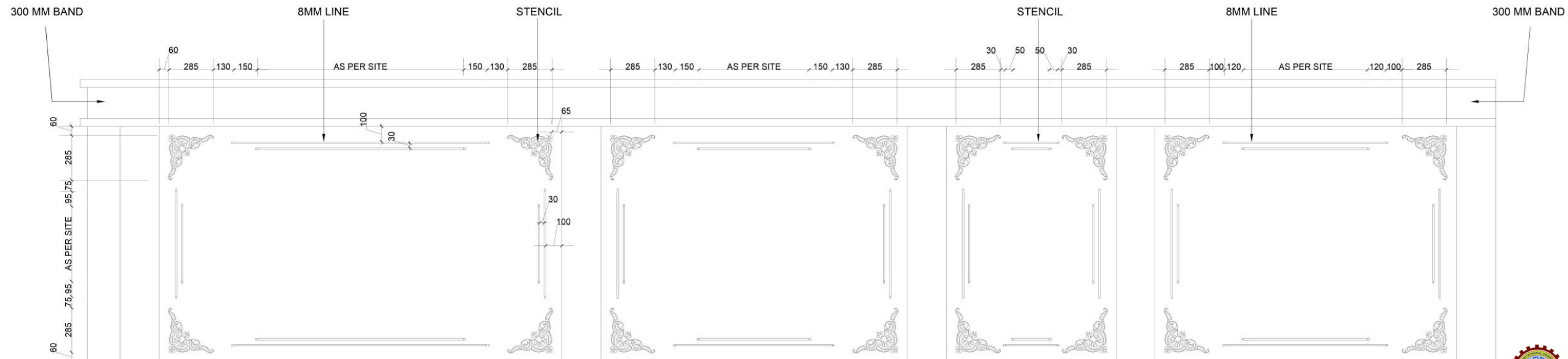
Visualization

Colour code
for base

#c4aead
Silver Pink

Colour code
for stencil



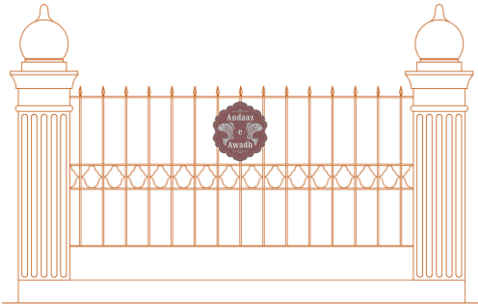
#84563c
Milk Chocolate



Dimension Detail



Summary- Colour palette & material

	Color Code & Color Name	Material	Visual
Branding Strategy	#996666 Copper Rose	ACP Sheet with CNC cutting	
Boundary wall	F2f2f2 Vista Paint Winter Mist	Lime plaster & paint finish	
Fences	#ffddca Unbleached silk	MS grill & paint finish	

How to read color palette?

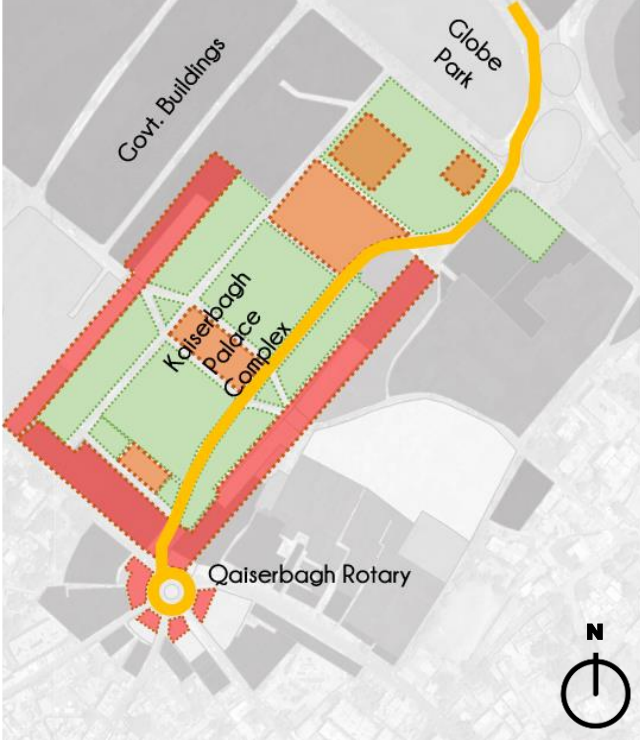
#e6e0d4

White Coffee

Colour Code

Colour Name





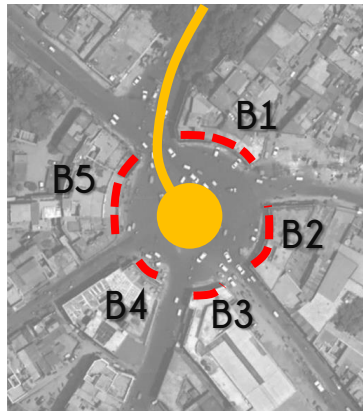
LEGENDS

- Heritage Corridor
- Heritage Buildings
- Recreational Areas
- Heritage Protective Zone

Revitalizing The Kaiser Bagh Complex (Zone C – Kaiser Bagh Complex)



Condition Assessment- Kaiserbagh Rotary



Key Plan



Building B1



Building B5



Building B2



Building B3



Building B4

- Total 5 Buildings around the Circle.
- Typical Elevation Profile has been followed in every building.
- 172 years old structures



Condition Assessment- Kaiserbagh Rotary

Major Issues

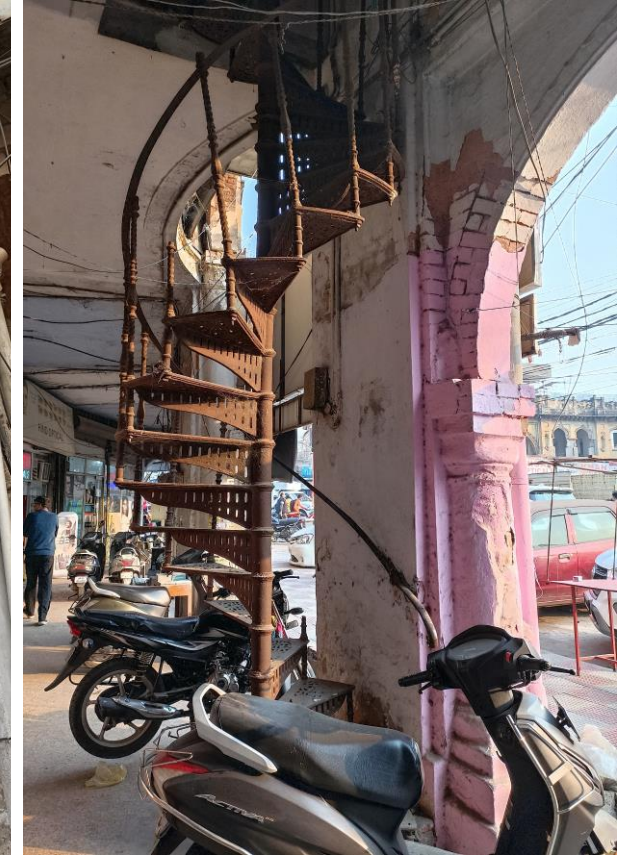


- Exposed rainwater pipes on the façade.
- Advertising panels of shops covering majority of facades.
- Dilapidated Condition of building
- Haphazard sticking of bills and advertising boards.



Condition Assessment- Kaiserbagh Rotary

Major Issues

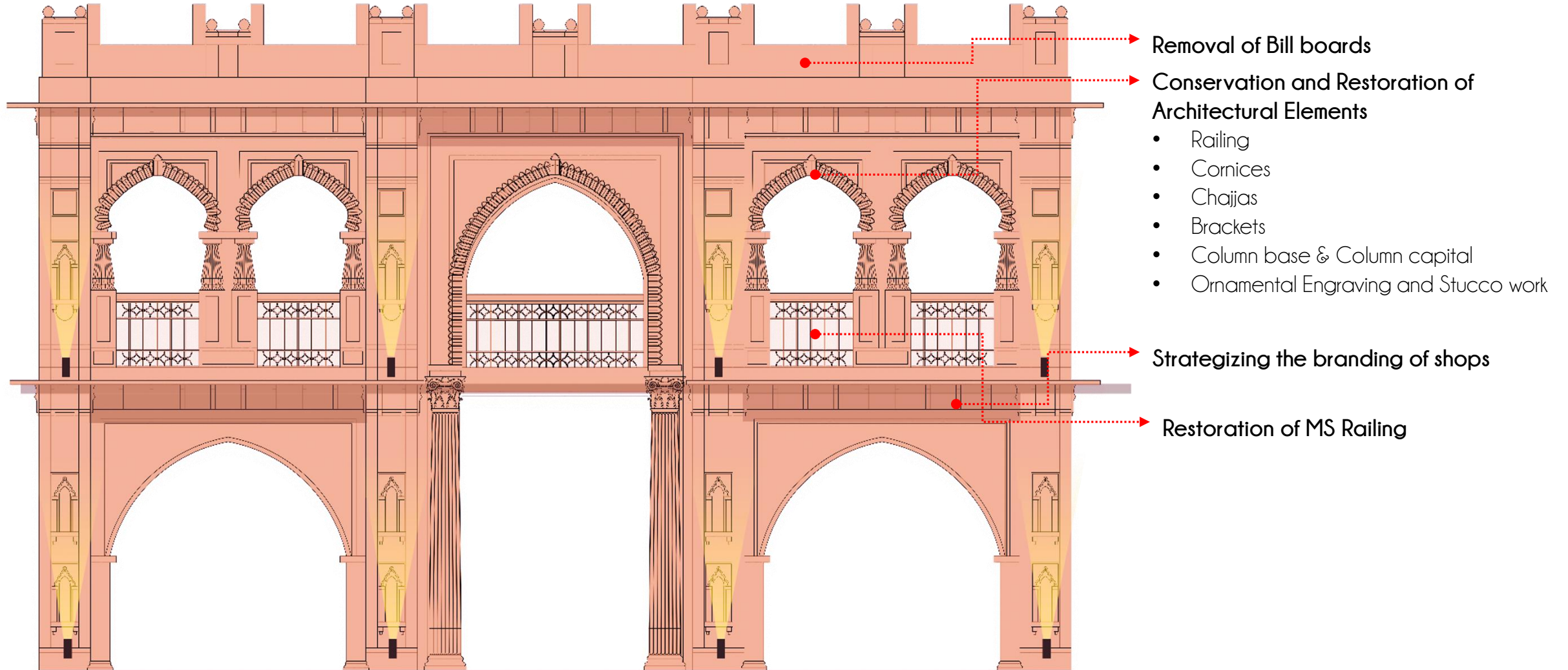


- Weathering in plaster works, brackets, motifs and columns
- Plaster is falling off from the façade
- No regulation on use of material for renovation works

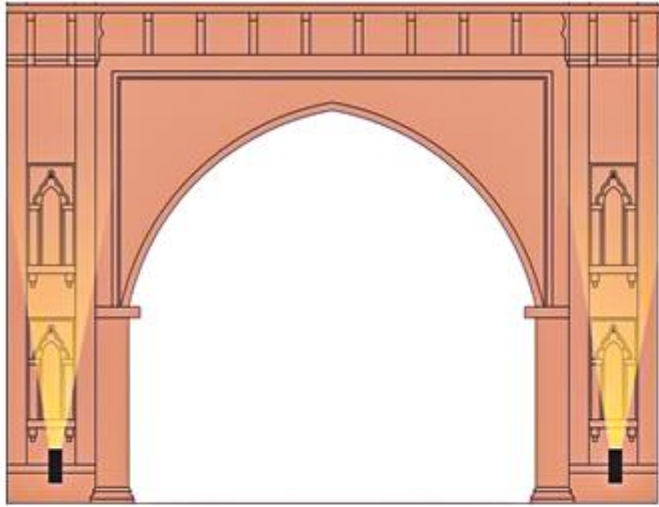


Design Intervention- Kaiserbagh Rotary

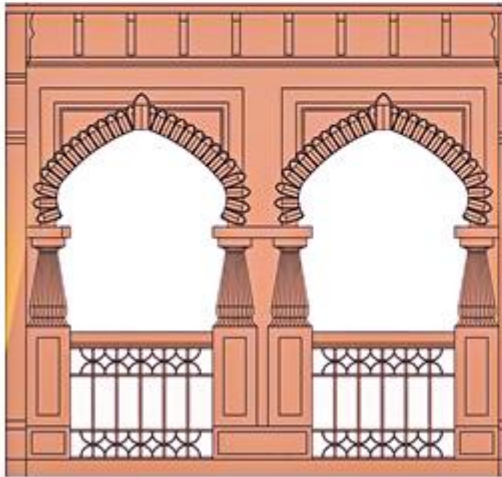
Design Strategy



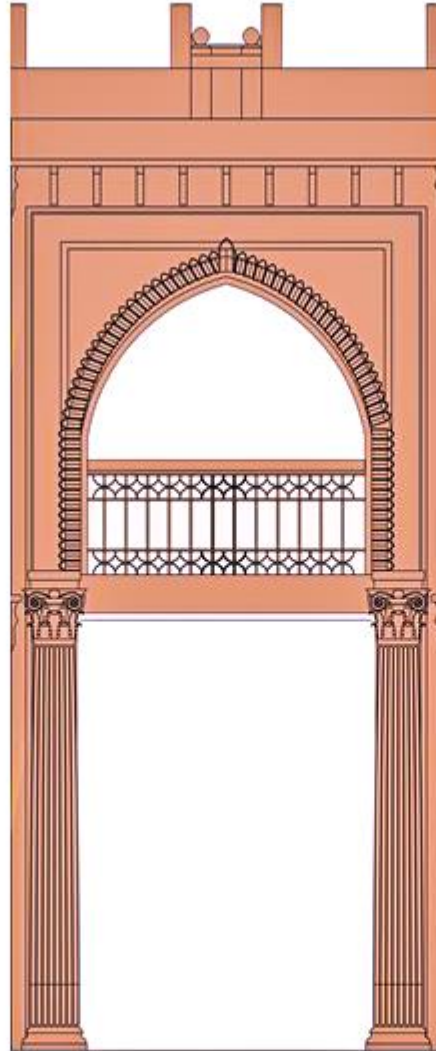
Design Intervention- Kaiserbagh Rotary



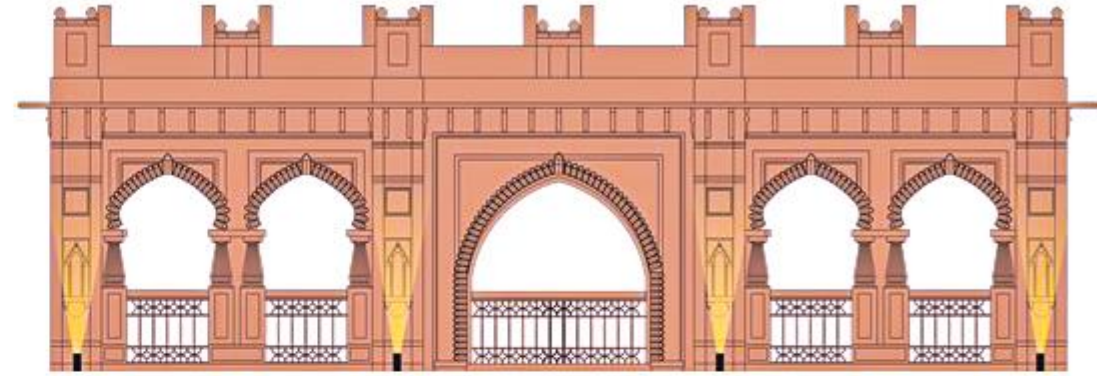
Regeneration of Arches Using Brick with stucco & Lime Plaster



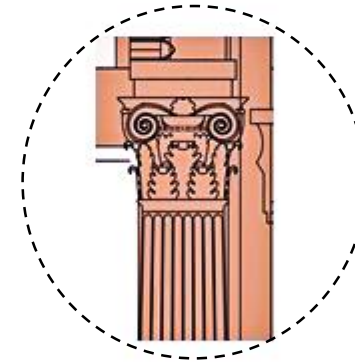
Redevelopment of Arches of windows



Redevelopment of Central Arch



Redeveloped Facade of First Floor



Revitalizing the details on columns

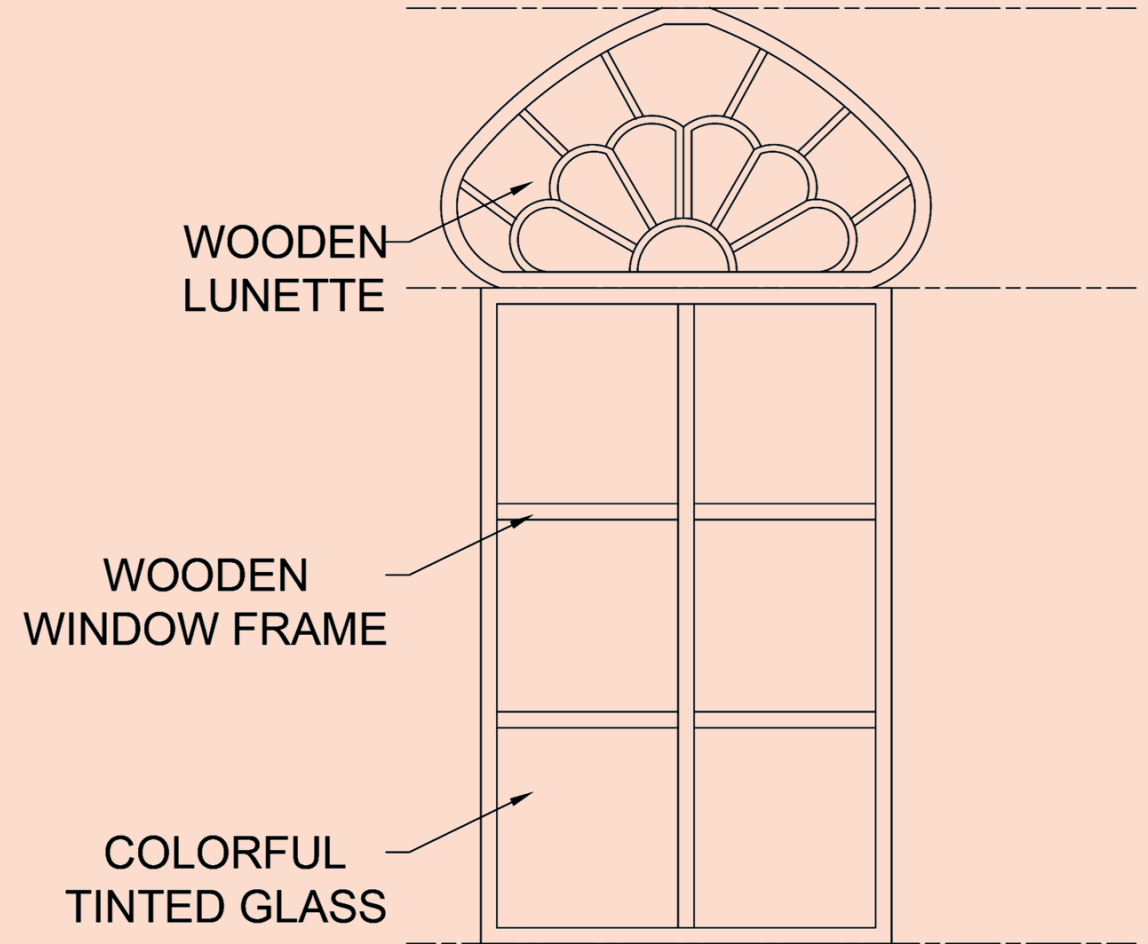
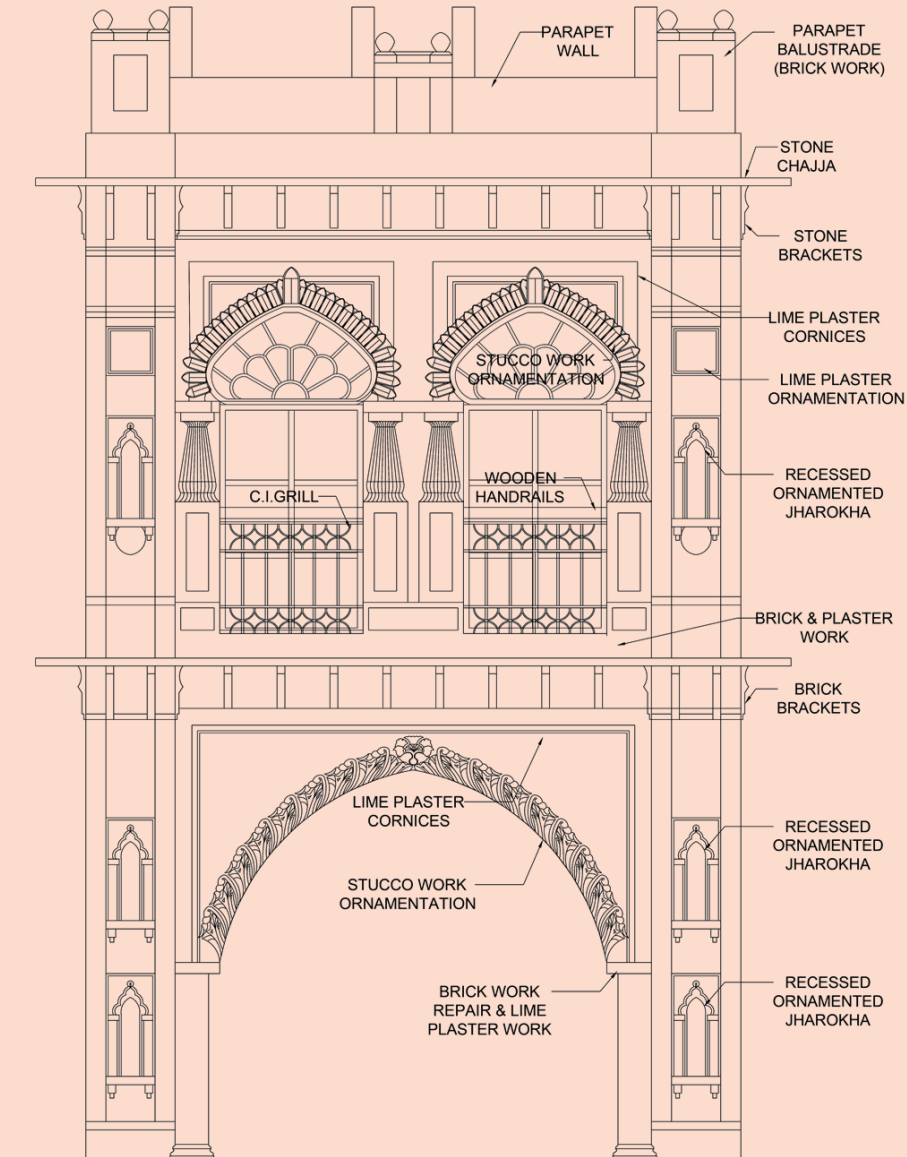


Columns with Façade Lighting Provisions

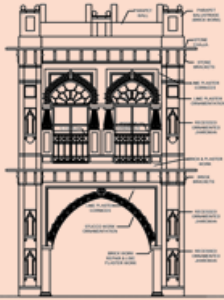


Design Intervention- Kaiserbagh Rotary

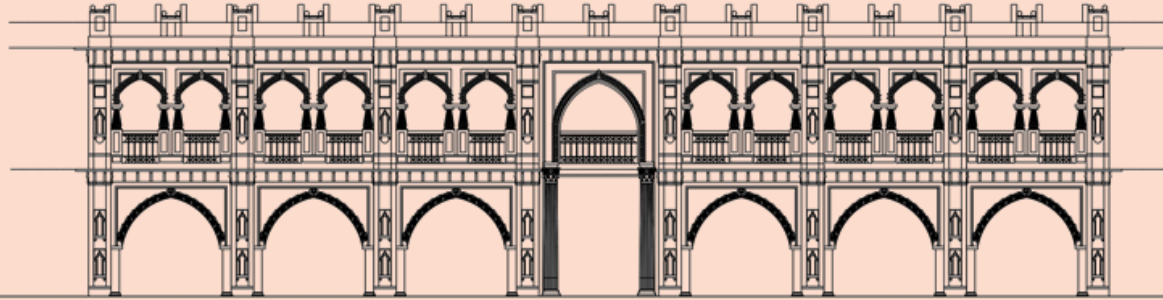
Design Strategy



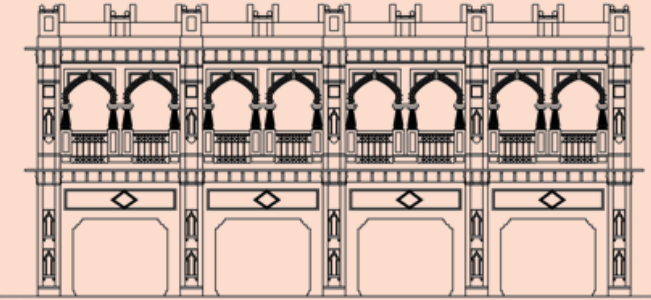
Design Intervention- Façade regeneration of Kaiserbagh circle



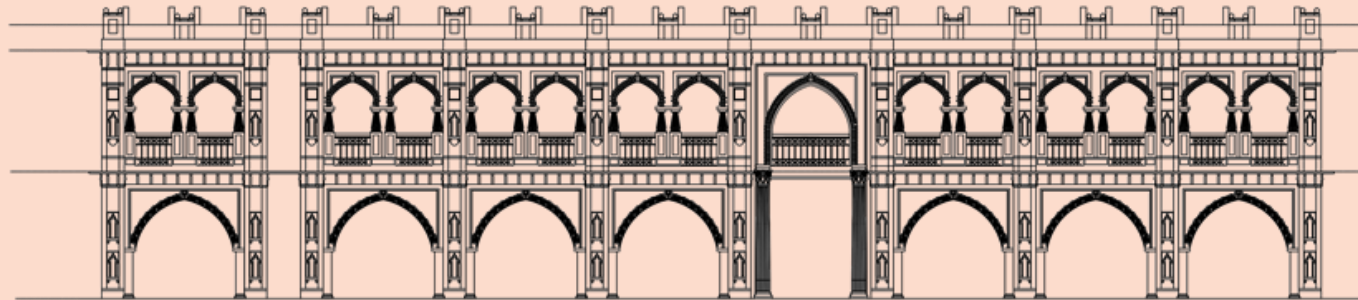
SIDE A FAÇADE



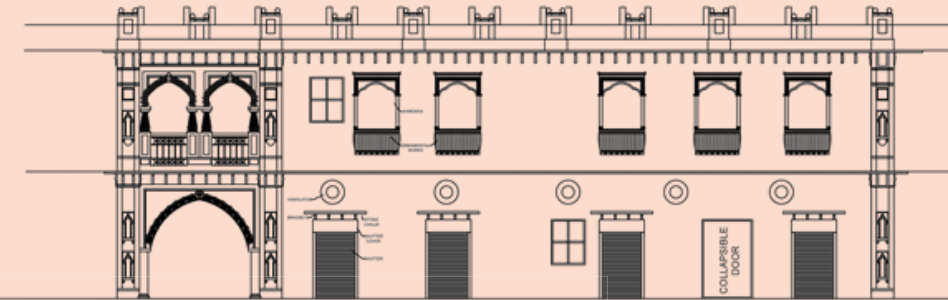
BUILDING B1: FRONT FAÇADE



SIDE B FAÇADE

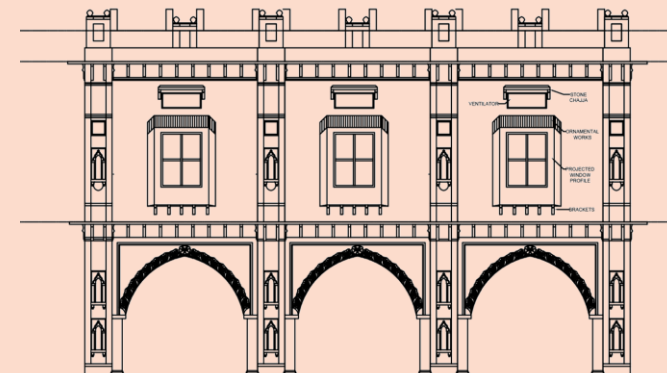


BUILDING B2: FRONT FAÇADE



SIDE B FAÇADE

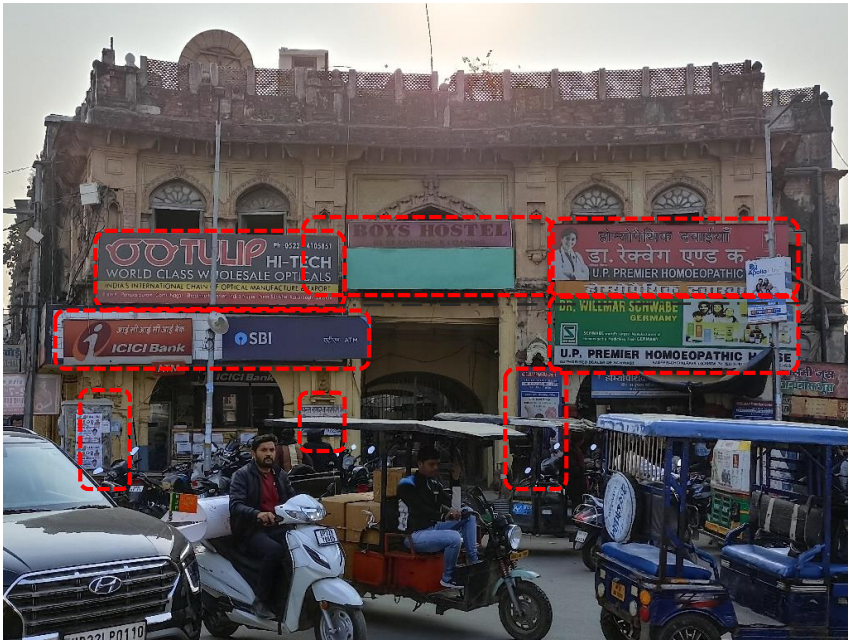
Regeneration of the Façade of the entire complex to regain the core heritage value of the complex.



SIDE A FAÇADE

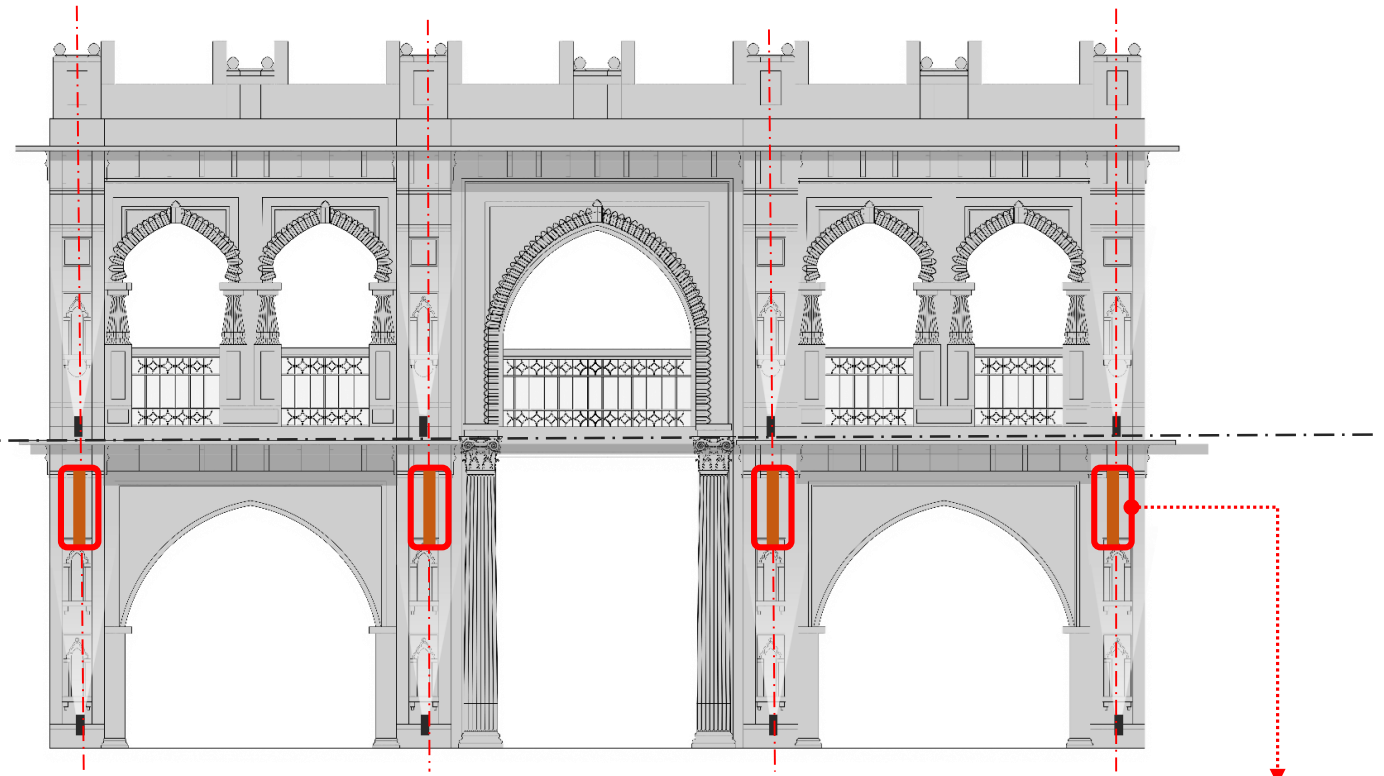


Design Intervention- Shop Display Boards



Existing condition of the facade

Removal of Horizontal existing signage and shifting them towards vertical axis



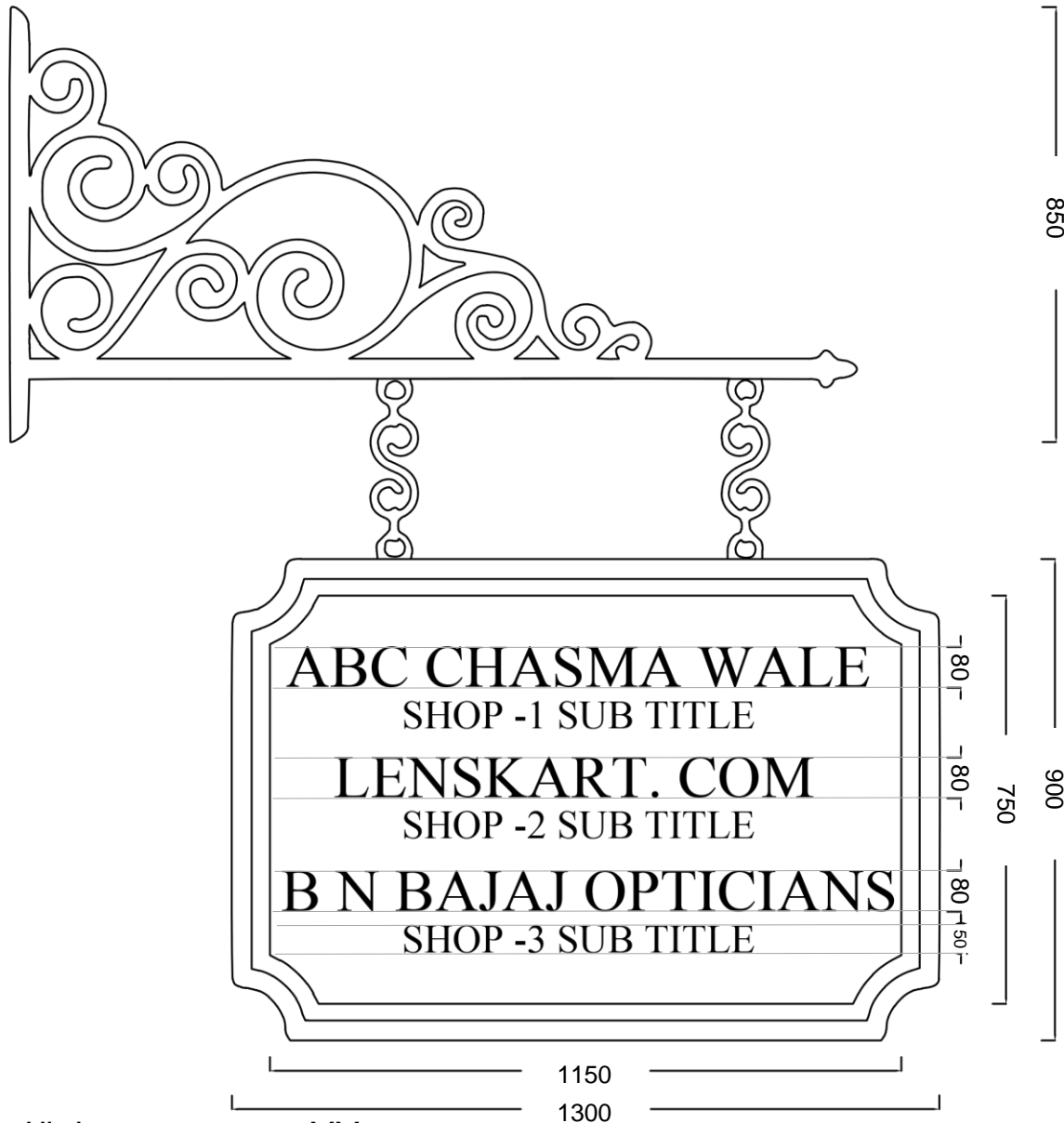
Proposed facade

Retaining the original Architectural elements & preserving the overall character in the facade

Location of Signage

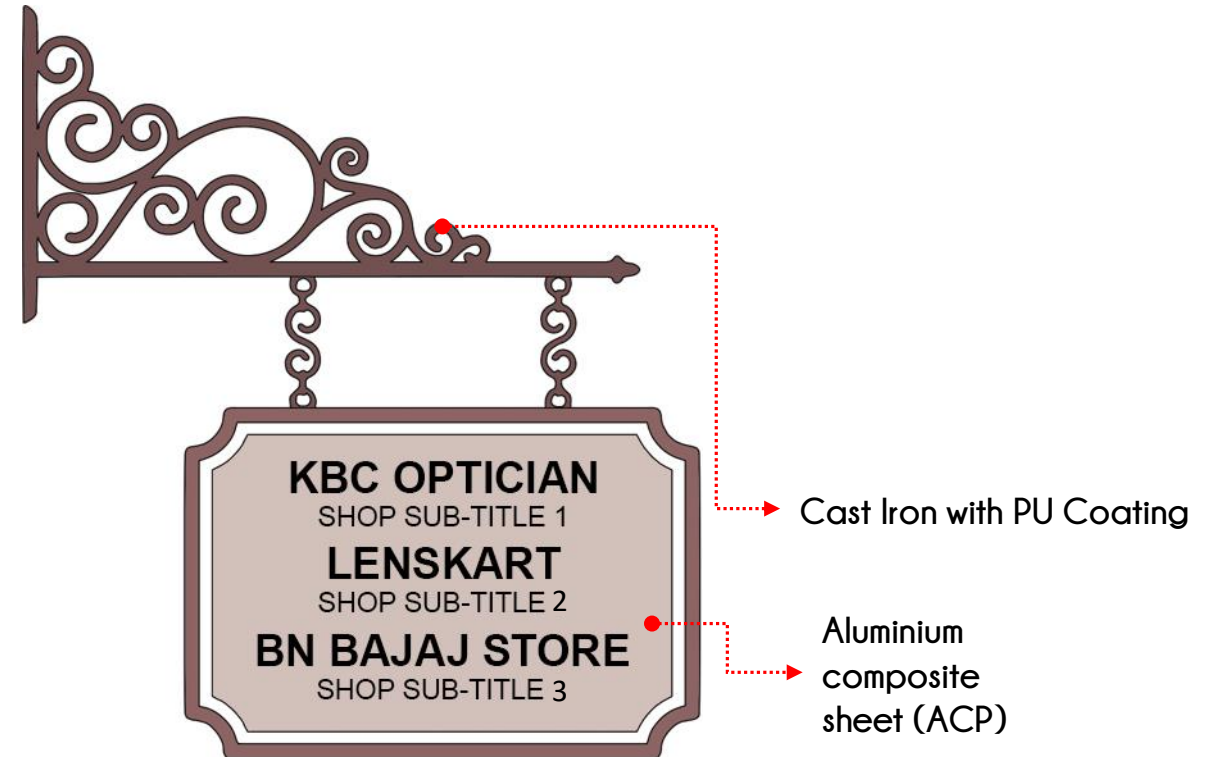


Design Intervention- Iconography Guidelines for Shop Display Boards



Specifications

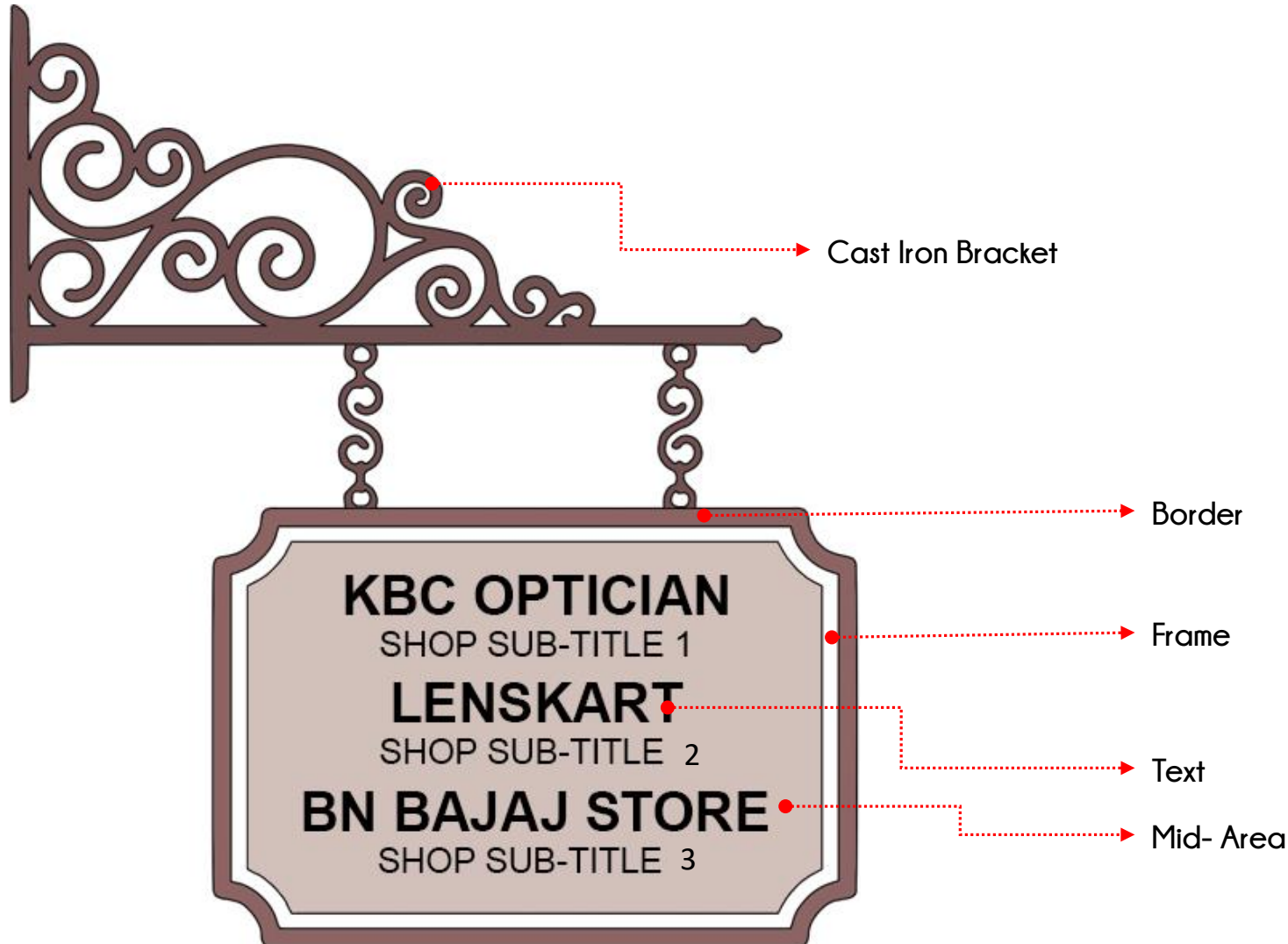
- Width of frame of Board :1300 mm
- Thickness of Border :30 mm
- Title Font Size : 80 mm
- Sub Title Font Size : 50 mm
- Font Style : Arial
- Material: Cast Iron & ACP Sheet



Visualization



Design Intervention- Iconography Guidelines for Shop Display Boards



Colour code
for border

#996666 Copper
Rose

Colour code
for mid area

c9c0bb Pale Silver

Colour code
for text

#414a4c
Outer Space

Colour code
for frame

F2f2f2
Vista Paint Winter Mist

Colour code
for Cast Iron

#996666 Copper
Rose

Materials: Cast Iron & ACP Sheet



Summary- colour palette

Asian Paint colour shade

Public Building	<div>#dea283 Coral Coast</div>	<div>#dea283 Coral Coast</div>	<div>#dea283 Coral Coast</div>
Branding & Artwork	<div>#c9c0bb Pale Silver</div>	<div>#996666 Copper Rose</div>	<div>F2f2f2 Vista Paint Winter Mist</div> <div>#414a4c Outer Space</div>
	Base To be used in 70%-80% of facade	Base or Highlighter	Highlighter To be used on doors, windows, frame grills etc to highlight elevation features

Rules

- Building facades should use only prescribed color.
- Simple colour schemes to be encouraged with respect to the existing colours of heritage structures
- Black, fluorescent and neon colours should not be used as primary colour
- Black or dark colours should be restricted to doors and window frames, metal work and security.

How to read color palette?

#e6e0d4 White Coffee

Colour Code

Colour Name

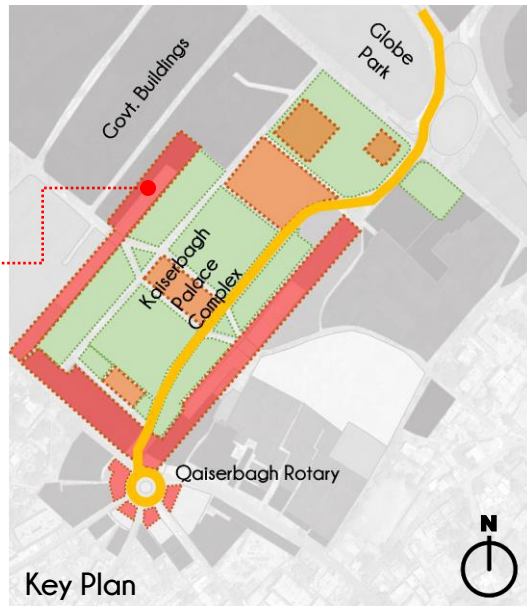
*In case of contemporary building the surface finish should be paint only as per prescribed palette.



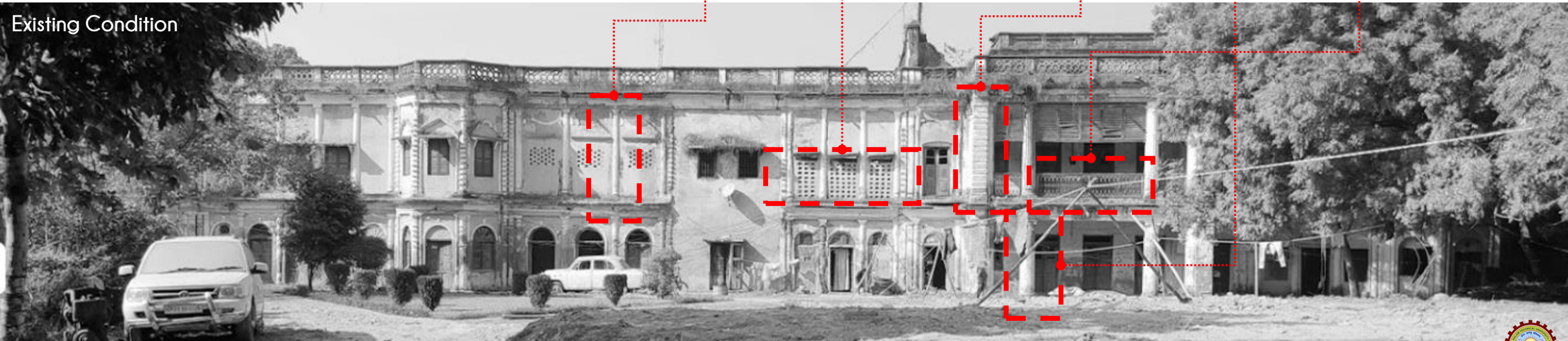
Condition Assessment of Mahmudabad Palace

Mahmudabad Palace

- LEGENDS
- Heritage Corridor
 - Heritage Buildings
 - Recreational Areas
 - Heritage Protective Zone



Existing Condition



Ionic Column Pilasters with intricate Plaster of Paris Motif Designs

Blocked openings

Design patterns on the wall

Doric Column design in the ground floor

Traditional Cast Iron railing



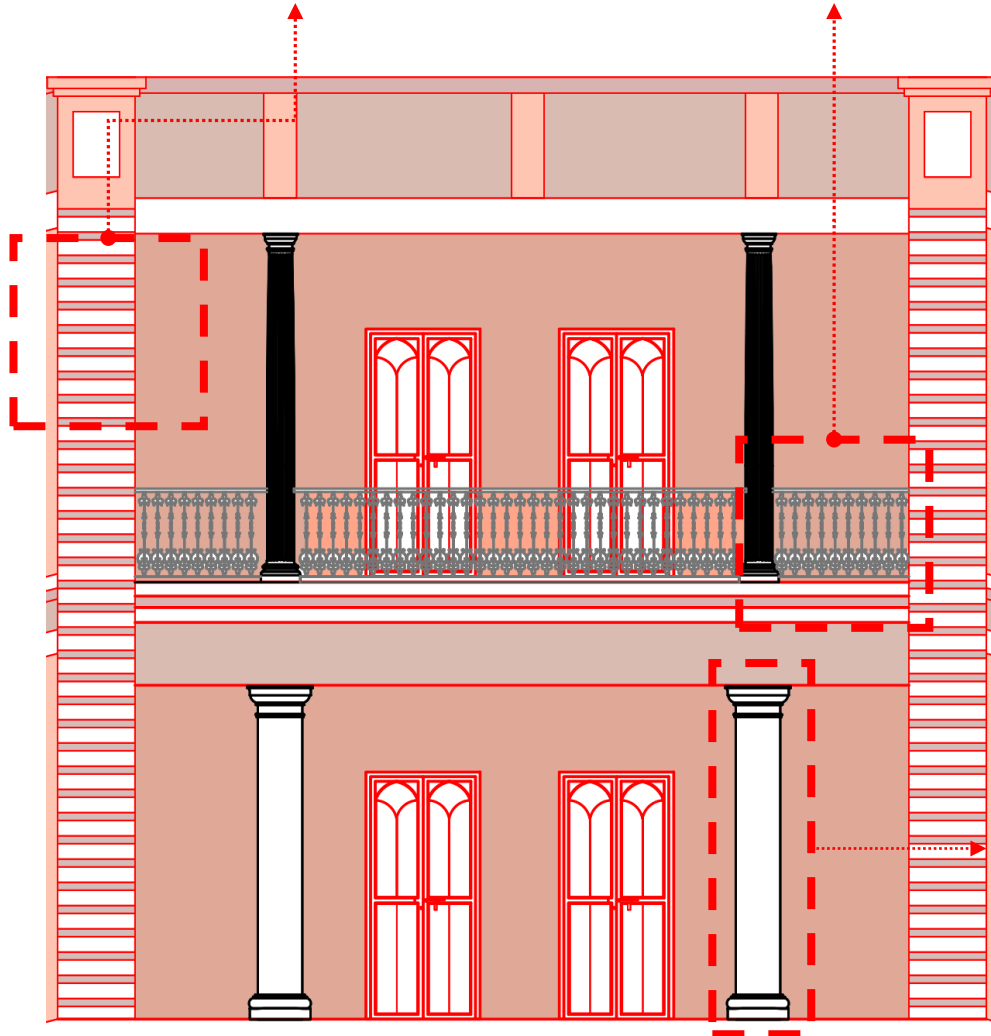
Design Intervention- Mahmudabad Palace

Design Strategy

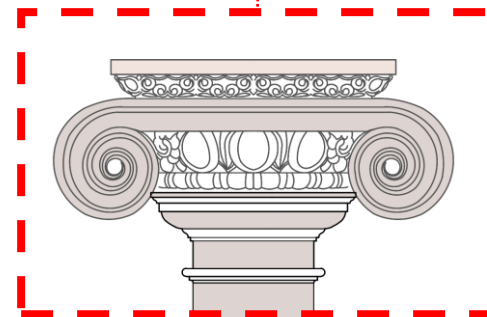
Retaining Existing Design Pattern

Installation of New Doors & Windows

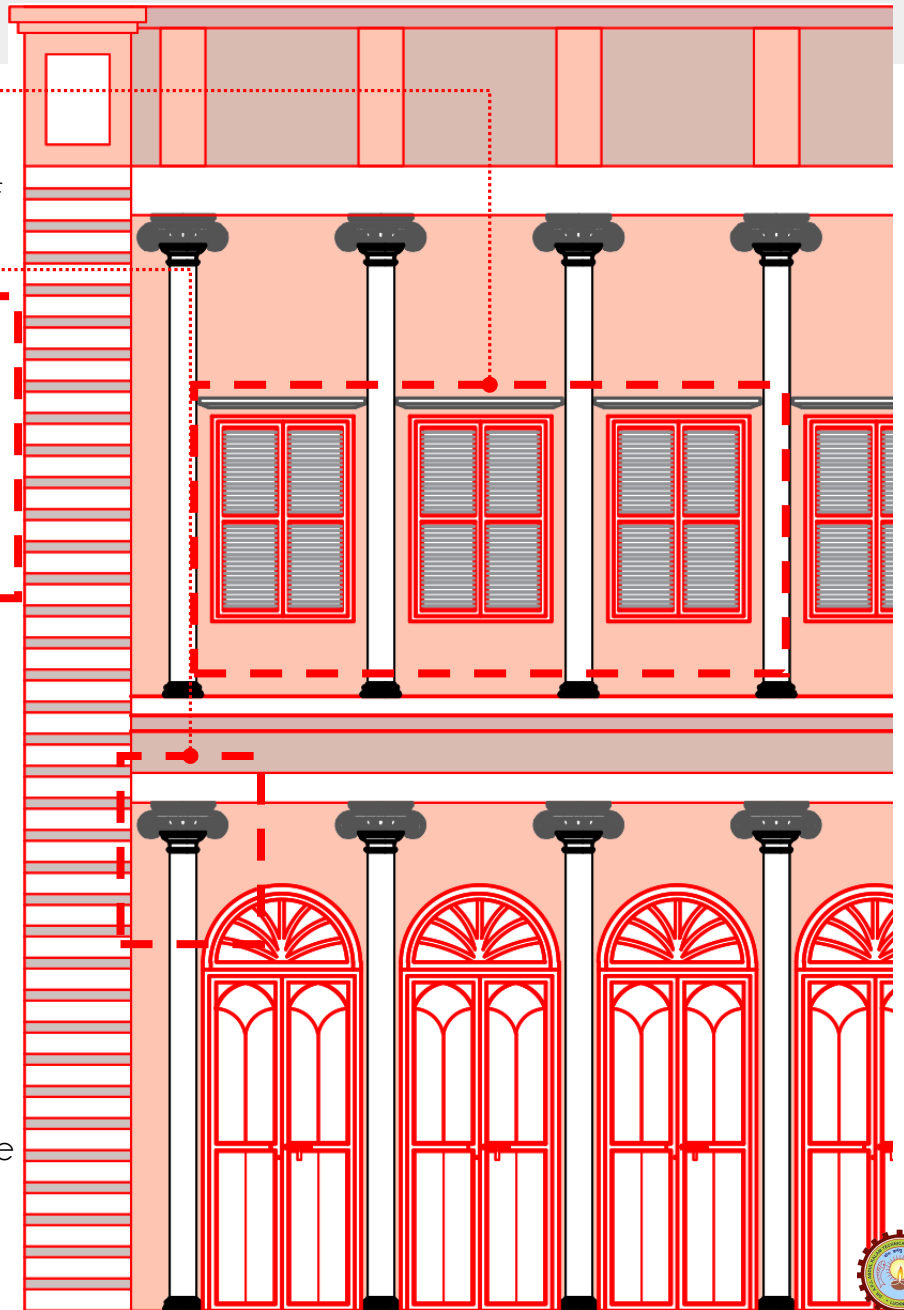
Traditional Cast Iron Railings



Ionic Column Pilasters with intricate Plaster of Paris Motif Designs



Doric Column Design



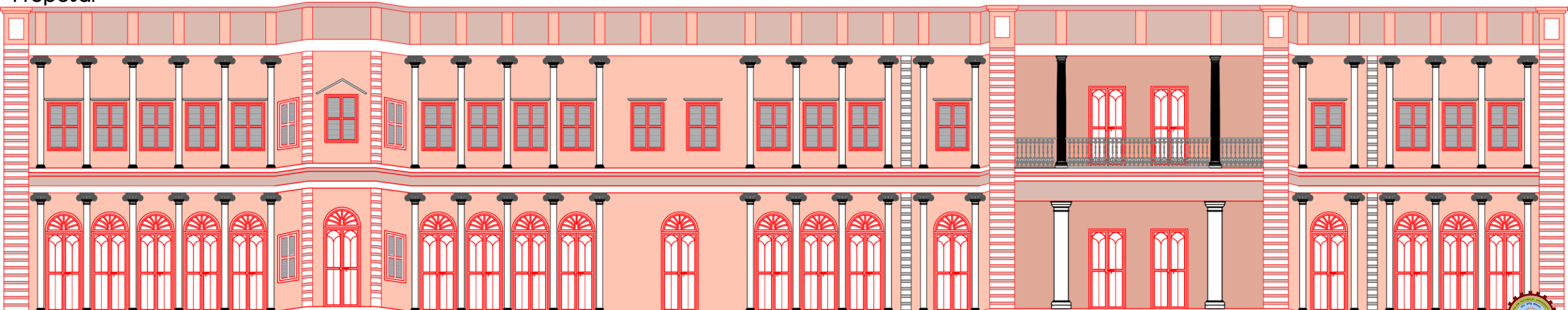
Design Intervention- Mahmudabad Palace

Retaining the existing façade of the complex

Existing Condition



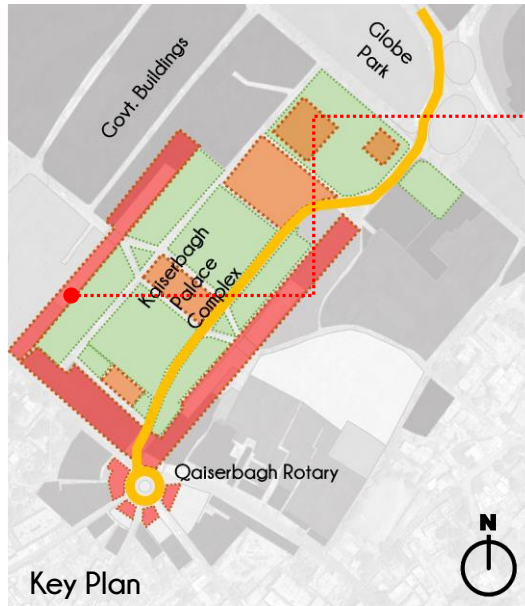
Proposal



Proposed Visualization of Restored Façade



Condition Assessment- Salempur House



Salempur House

LEGENDS

- Heritage Corridor
- Heritage Buildings
- Recreational Areas
- Heritage Protective Zone

Existing Condition



Projected Chajja Supported on Brackets

Ornamented Column Pilasters

Cast Iron Railings in Wooden Frame

Arch way with four columns on all sides

Fenestration, with fixed wooden and glass panels

Wooden members blocking the view of the façade

Blocked Archway with concrete member disturbing the aesthetics of Façade

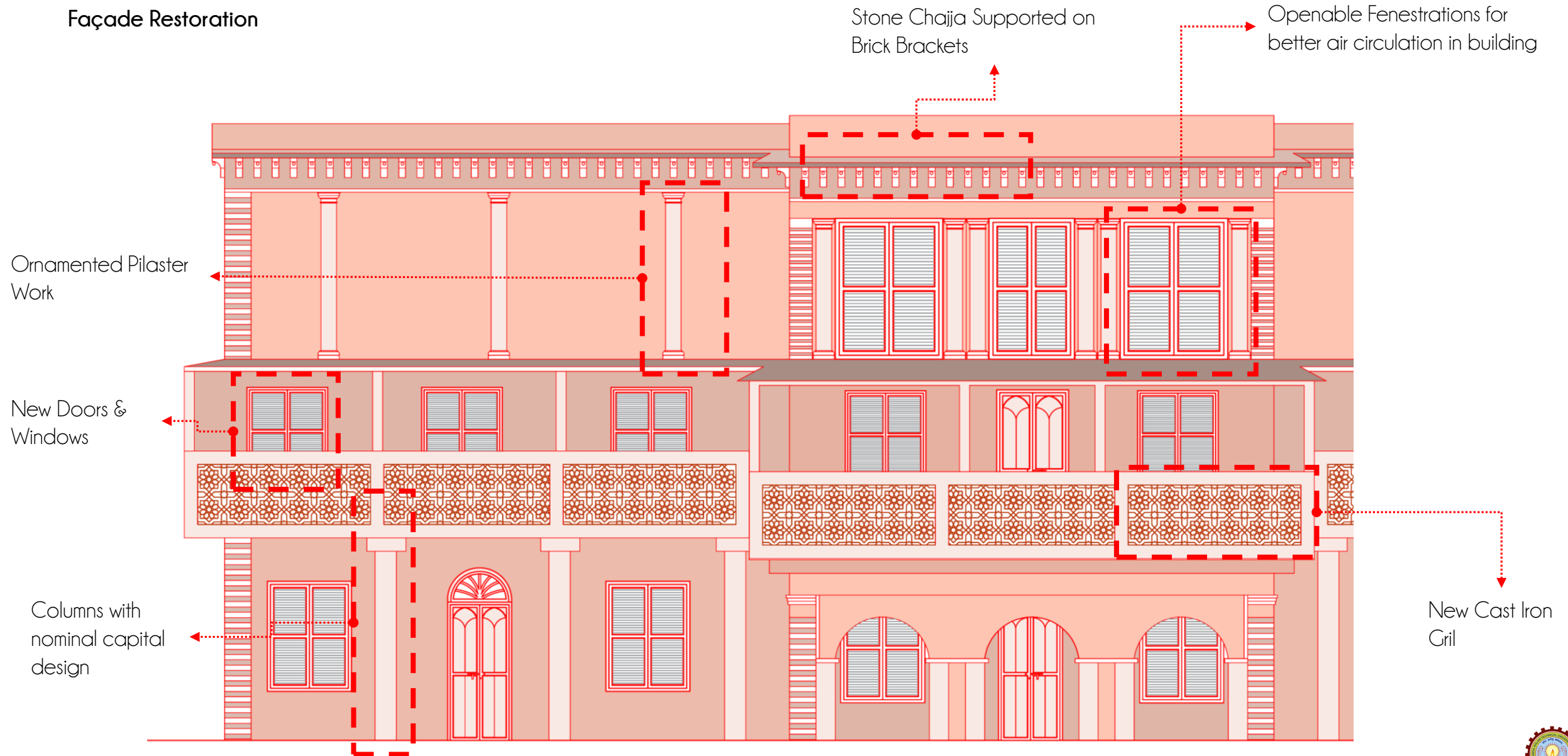
Strategy

- Neat & Clean Ascetics of Façade
- Retaining the existing Architectural Features
- Façade following the suggested colour palate



Design Intervention- Salempur House

Façade Restoration



Design Intervention- Salempur House

Proposed Visualization of Restored Façade



Branding strategy

- Signages
- Street furnitures



Signages

Directional Signages

- Inspired from the traditional arch design.
- Retaining existing character with use of Corten steel with engraved jali patterns.
- Branding Strategy with placement of Heritage corridor logo and QR codes redirecting to the website.
- L Shaped signage design to cover higher angle of vision.

Informative Signages

- Use of ACP Sheet of 6 mm in folded style.
- To be used along heritage buildings for its detailed information.

Hanging Signages

- To be used within a building complex for way finding of utilities.
- Use of ACP sheet with Cast Iron frame.



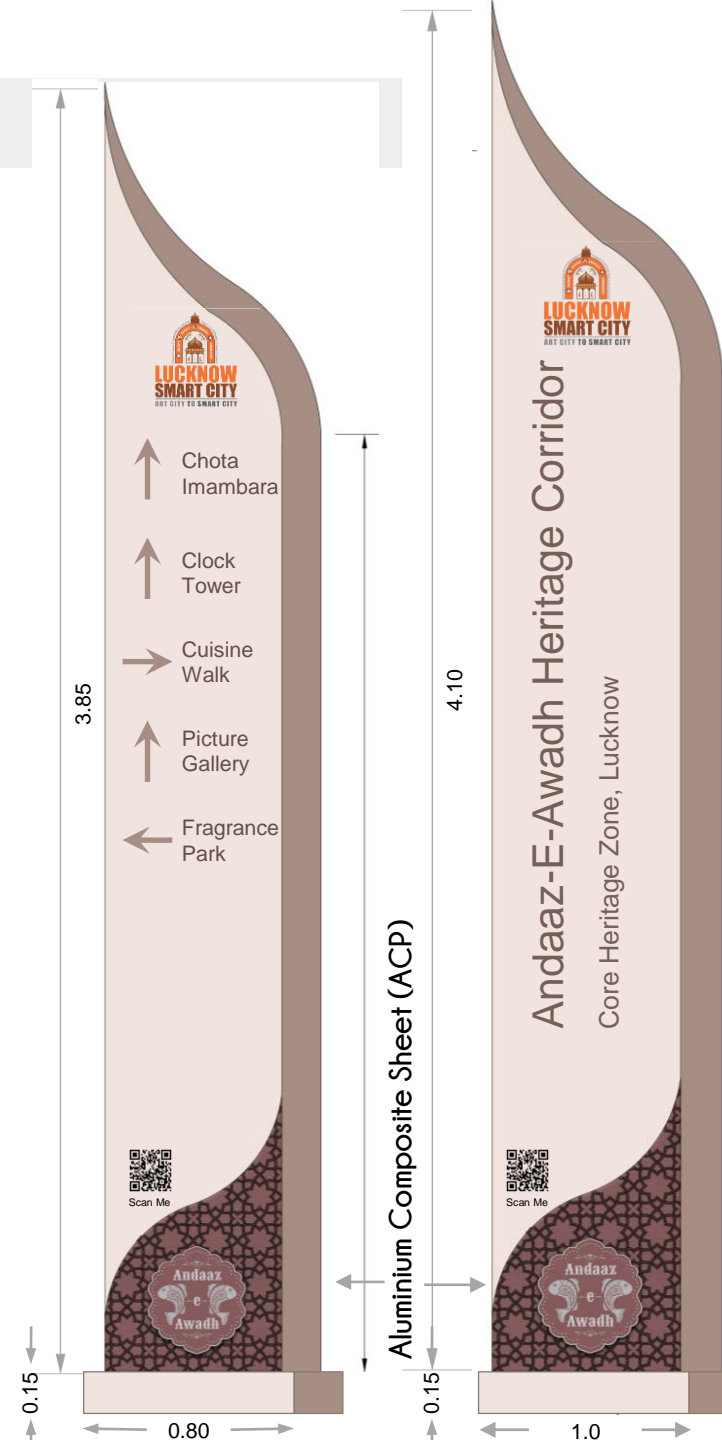
Fibre Glass Sheet

0.75

Aluminium
Composite
Sheet (ACP)

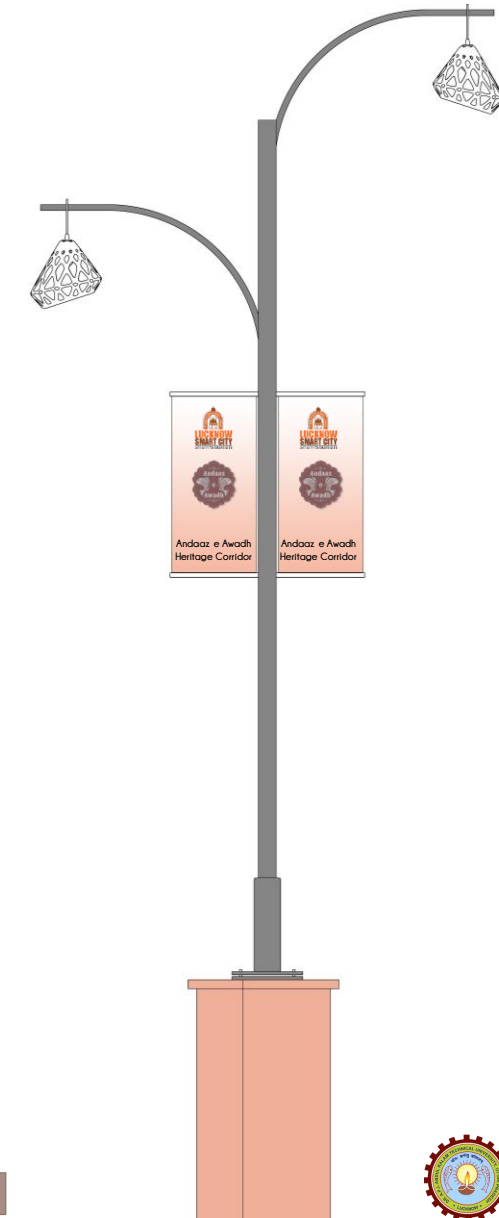


Cast Iron



Aluminium Composite Sheet (ACP)

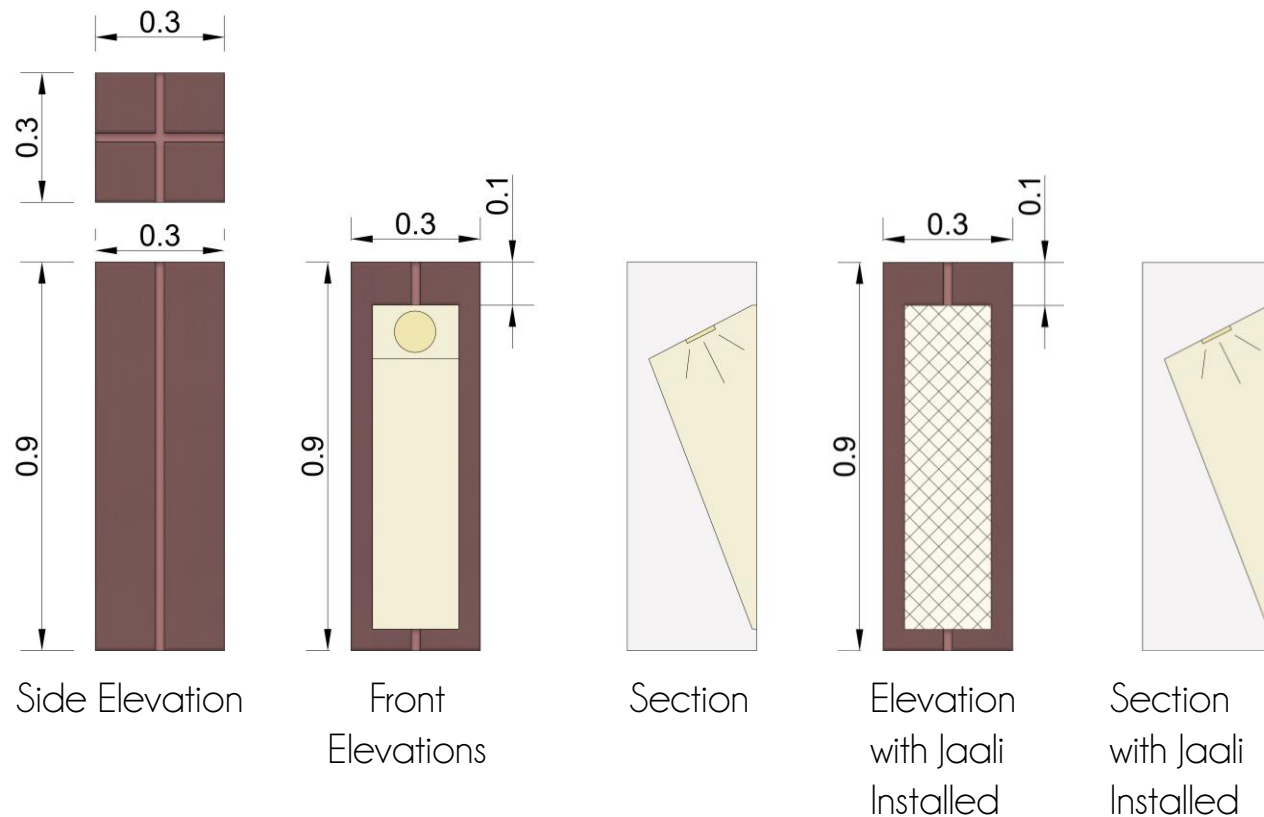
Promotional Signages



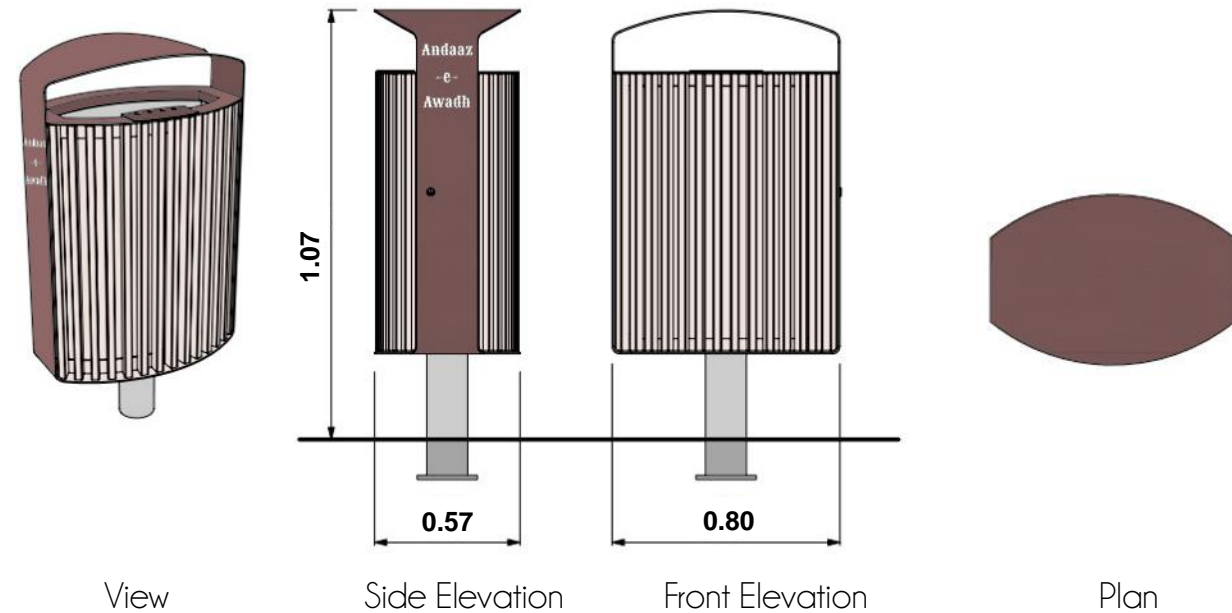
All dimensions are in Metre

Bollards

- The bollards are inspired by the existing design with groves on every surface.
- Lighting fixtures has been introduced in the module of the bollards with lights fixed at 45° of angle for proper illumination on the streets.
- Jaali installation will be an optional provision for creating different patterns on the surface of the street.



Litter Bins



Specifications:-

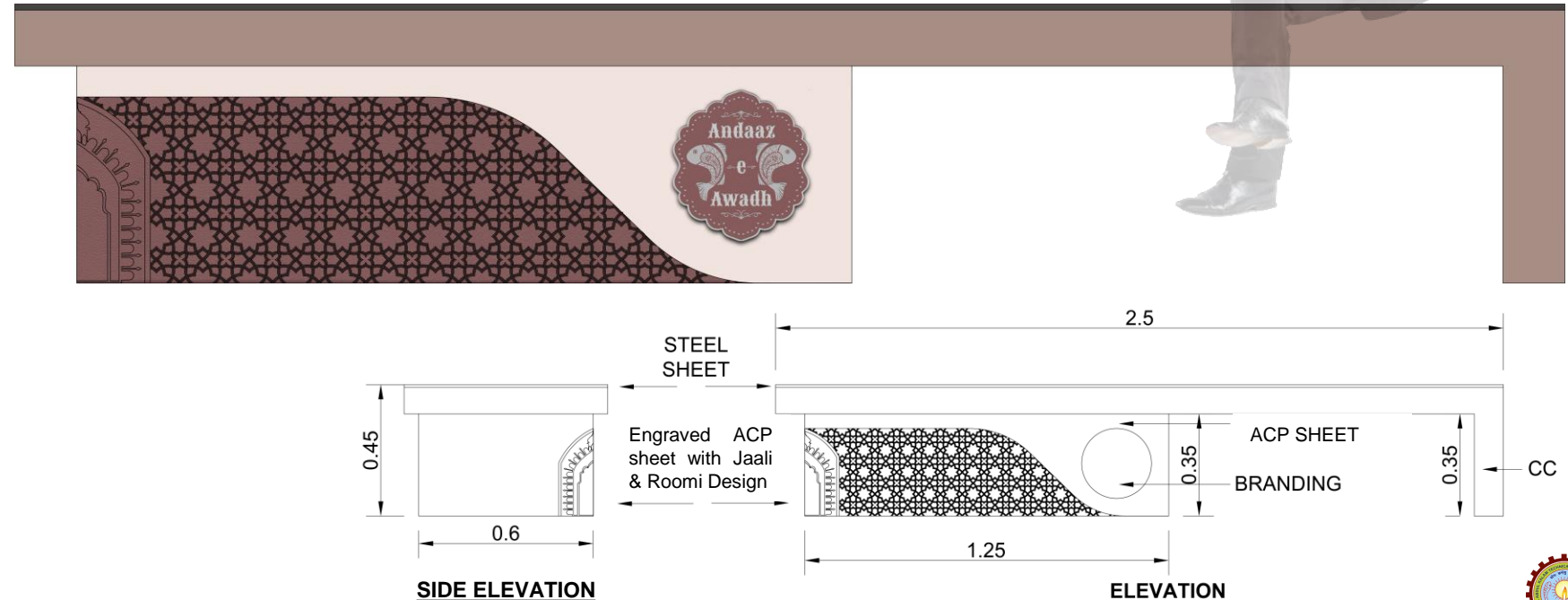
- **Height** :-1075 mm
- **Width** :-570 mm
- **Thickness** :-800 mm
- **Material** :-Powder coated steel sheet with wooden slats connected using stainless steel screw joints

Public Furniture

- Use of ACP Sheet with intricate jali patterns and traditional Rumi gate Design.
- Branding Strategy with logo design embossed on the concrete base.
- Use of concrete for making rigid seating provisions.
- Powder coated steel sheet for instant cooling even in high summers.

Specifications:-

- Length Of Seating:-2500 mm
- Width Of Seating:-700 mm
- Height Of Seating:-450 mm
- Material :-Cement Concrete, Steel Base and ACP Sheet



Guidelines & Regulations

- Façade control regulation
- Mandatory & Optional Provisions



Façade Control Regulations

Building Parameters

Technical Parameters	Norms	Remarks
Setback / Buildings Line	As specified by the LDA Building Bye Laws - 2008	No projections viz balcony or any covered area etc. to be constructed on road / along the road, where it is permitted by the competent authority.
Ground Coverage	As specified by the LDA Building Bye Laws - 2008	The character of open spaces shall be maintained as per the originally constructed.
Height	G+2 in radius of 1 kms of heritage building, rest as per FAR norms and road width specified by the competent authority	
Parking	As per the parking of standard ECS allocated in the Heritage Master Plan	Parking zones, identified in the designated area Identified under Heritage Master Plan with provisions of fee levied by the Lucknow Municipal Corporation.

Architecture Control Guidelines

The Owners, authority or trust must strictly follow the architecture control. No deviation as per the prescribed façade control guidelines shall be permitted. ***In case any owner has changed the façade, erected temporary structure like hoardings, sign boards, sheds, awnings (automatic or manual), outdoor advertising structures, poles etc. shall have to reconstruct / restore on his own expanses as per approved guidelines with in 90 days of issuance of notice by authority.***



Scope of Change

Works relating to changes, development or redevelopment or additions, alterations and renovation of heritage sites shall be permitted in accordance with following: -

Prohibited

- Demolition (part or whole) and reconstruction except in the specific case of building getting damaged due to any natural calamity, disaster, fire, riots etc. and dilapidated condition of structure being unsafe for public or occupants of the building,
- Change in the exterior facade or deviation of Architectural/Facade Control Guidelines.
- Alteration or addition including structural changes (in Grade-I heritage sites/buildings).
- Removal or alteration of carvings, paintings and other decorative architectural elements.

Permitted

- Renovation without changing the original exterior/facade and other architectural elements of the building.
- Construction of boundary wall in harmony with heritage site. Installation of internal lift.
- Installation of solar water heating system/solar power plant/fire safety equipment's / Air conditioning system/electrical/plumbing system.
- Alteration or addition including structural changes (In Grade-II and Grade-II heritage sites).
- Internal changes and adaptive re-use (In Grade-II and Grade-II heritage sites).
- New doors and windows on internal/external walls (In Grade-II and Grade-II heritage sites).
- Extension and addition in the same compound if it is in harmony with existing heritage building (In Grade-II B and Grade-III heritage sites). All other works not mentioned in (I) and (I) above.



Penalties

To Whoever;

- destroys, injures, mutilates, defaces, alters, removes, disperses, misuses, imperils or allows to fall into decay a protected heritage asset, or
- being the owner or occupier of protected heritage asset, contravenes an order made under these rules, or
- carries out any construction, re-construction or repair and renovation in the Conservation Area without the previous permission of the competent authority or in contravention of the permission granted by the competent authority, shall be punishable.
- Whoever contravenes any other provisions of these rules or the provisions of the Regulations, made there under shall be penalized as per the provisions of Municipal Laws.



Mandatory & Optional Provisions

Guidelines

Paint Work	Mandatory Provisions
	Use of Colour shades Indicated in the suggested colour palate for all the buildings falling in the heritage precinct zone.
	Optional Provisions
	No Optional Provisions
Plaster Work	Mandatory Provisions
	Preferably use of Lime Surkhee for Plaster works on the exterior façade of the Buildings.
	Optional Provisions
	Cement Plaster works can also be used.
Boundary Walls and Fences	Mandatory Provisions
	<ul style="list-style-type: none"> Boundary wall standing for more than 10 years, needed to be demolished and re-erected as per the design specification suggested. Fences of all the public parks are needed to be replaced with the suggested design specification. All the new construction of the boundary in heritage precinct zone must follow the specified design standards.
	Optional Provisions
	Any owner / government agency / trust will be allowed to do reconstruct the boundary wall before 10 years but the new construction must follow specified design standards.



Artistic Works	Mandatory Provisions
	<ul style="list-style-type: none"> For all the artistic works and installations, a mandatory approval has to be taken from Lucknow Smart City Limited. All the Artistic works must relate the context of heritage corridor.
	Optional Provisions
	No Optional Provisions
Façade Renovation	Mandatory Provisions
	<ul style="list-style-type: none"> All the buildings falling in the Heritage Precent will have to mandatorily change the façade at least with plaster and paint work. No architectural elements can be introduced in renovation. Design specification must be as per the façade guidelines.
	Optional Provisions
	Only the Buildings which has been erected or renovated in the last 3 year will be exempted from plaster works but the paint works must needed to be carried out.



THANK YOU



FACULTY OF ARCHITECTURE AND PLANNING,
DR. APJ ABDUL KALAM TECHNICAL UNIVERSITY, LUCKNOW

ABOUT FACULTY OF ARCHITECTURE AND PLANNING, AKTU, LUCKNOW

Faculty of Architecture and Planning-AKTU, Primarily a faculty or Dr. APJ Abdul Kalam Technical University Lucknow, located on a 6-acre site, is at a walking distance from the city center of Hazratganj. It started as a part of Government College of Arts & Crafts in 1911 and is one of the oldest in the country. The Institution separated from Government College of Arts and Crafts in 1976, with its new name 'Govt. School of Architecture' which was, later, renamed in 1980 as 'Govt. College of Architecture, Lucknow' (Popularly called GCA, Lucknow) as it acquired the status of the constituent college of Lucknow University.

Till the academic session of 1999-2000 the College, constituting the 'Faculty of Architecture' of Lucknow University, conducted a 5-year degree course leading to the award of a Bachelor's degree in Architecture (B. Arch). With the academic session 2000-2001, as per the decision of the government applied to all other technical institutions of the State, it got affiliated to the newly established 'U.P. Technical University, Lucknow' for all academic matters.